



## DEVELOPMENT CONSTRUCTION PERMIT

**Permit Number:** 16-17 **Issuance Date:** 6/28/2016

**Project Name:** Affinity At Fort Collins

**Project Location:** North of Corbett Drive, West of Ziegler Road

**Permittee:** Mark Ossello, Affinity at Fort Collins, LLC

**City and developer contacts:** *See attached Exhibit "A" for names and phone numbers of all contact persons for this project.*

**Fees:**

Permit Application Fee (Check # 007770)	\$ 400.00
Excavation Permit (Check #007828)	\$ 1,033.75
Construction Inspection Fee (Check #007828)	<u>\$ 6,132.50</u>
Total	<u>\$ 7,566.25</u>

Note: the above amounts may not include any street cut fees which may be required to be paid by separate permit.

**Development Bond or other approved security:**

Amount of security deposited with the City to guarantee the completion of all public improvements to be constructed as shown on the approved plans for the development.  
\$ 215,789.50

Form of security deposited with the City: Bond #: 106482240

**PERFORMANCE REQUIREMENTS OF THIS PERMIT:**

1. The Permittee shall be responsible to require their Project Engineer to incorporate into all design drawings and specifications the certification of all materials testing by an Engineer. The Permittee shall have an Engineer prepare revised design drawings and secure City approval for all revisions to the Utility Plans and related documents. The Permittee shall have an Engineer represent, as required by the City in the Development Agreement, that the improvements are constructed in conformance with the approved Utility Plans and the standards and specifications of the City. The Permittee shall provide "as-constructed" plans prepared by an Engineer prior to the City's acceptance of the constructed public improvements. (All references above to the terms "Project Engineer" and "Engineer" shall mean a Professional Engineer licensed in Colorado.)
2. All contractors who perform work on this project must be bonded and licensed in



conformance with City requirements.

3. Construction time restrictions: \_\_\_\_\_

4. The applicant understands that additional permits may be required for this development project and the applicant shall secure those permits directly from the issuing departments.

5. This permit, along with a complete set of all approved plans and documents for this project (utility plans, site plan, landscape plan, development agreement, soils report, pavement design, traffic study, drainage report, plat easements and any other official documents), shall be kept on the development site available for use by City staff doing inspections.

6. Permit Expiration (in accordance with Section 29-12 of the Transitional Land Use Regulations or Section 2.6.3(K) of the Land Use Code, whichever is applicable):

a. If construction has not begun within sixty (60) days from the date of issuance of this permit, this permit shall expire and the applicant will **forfeit the permit fee** paid for this permit, whereupon the applicant must re-apply for a new permit.

b. In addition, this permit shall expire one year from the date of issuance. The applicant may apply for an extension by reapplication at least two weeks prior to the expiration date. Such application shall contain information sufficient to justify the granting of the extension. An extension may be granted for up to six months.

7. Building permits and certificates of occupancy will only be issued when all conditions contained in the Development Agreement and Sections 3.3.2(C) and (D) of the Land Use Code or Sections 29-678 and 29-679 of the Transitional Land Use Regulations, whichever is applicable, are met. If the Development Agreement does not specify times for completion of public improvements, or if there is no Development Agreement, then the improvement requirements specified in Section 24-95 of the City Code shall apply, which provides that construction of all improvements shall be required prior to the time of issuance of the first building permit.

8. Acceptance by the City of the public improvements shall be after (1) final inspection has been conducted by the City; (2) punch list items from the final inspection are completed and accepted by the City; and (3) required certifications from the licensed professional engineer that improvements are completed to City standards, specifications and approved Utility Plans; and the "as-constructed" plans have been received and accepted by the City.

9. The warranty on street improvements is for five (5) years from the date of acceptance by the City of the completed improvements, in accordance with Sections 29-13 and 29-14 of the Transitional Land Use Regulations and/or Sections 2.2.3(C)(3)(g), 3.3.1(C)(2), and 3.3.2(C) of the Land Use Code, as applicable.

10. The City Erosion Control Inspector must be notified at least twenty-four (24) hours prior to

any planned construction on this project. All required perimeter silt fencing and other erosion/sediment control best management practices (BMP's) that can be installed prior to construction must be in place and inspected by the City Erosion Control Inspector before any land disturbing activity begins.

11. No work (including grading) shall be started in State Highway right-of-way until a permit is issued by the Colorado Department of Transportation to allow such work to begin.

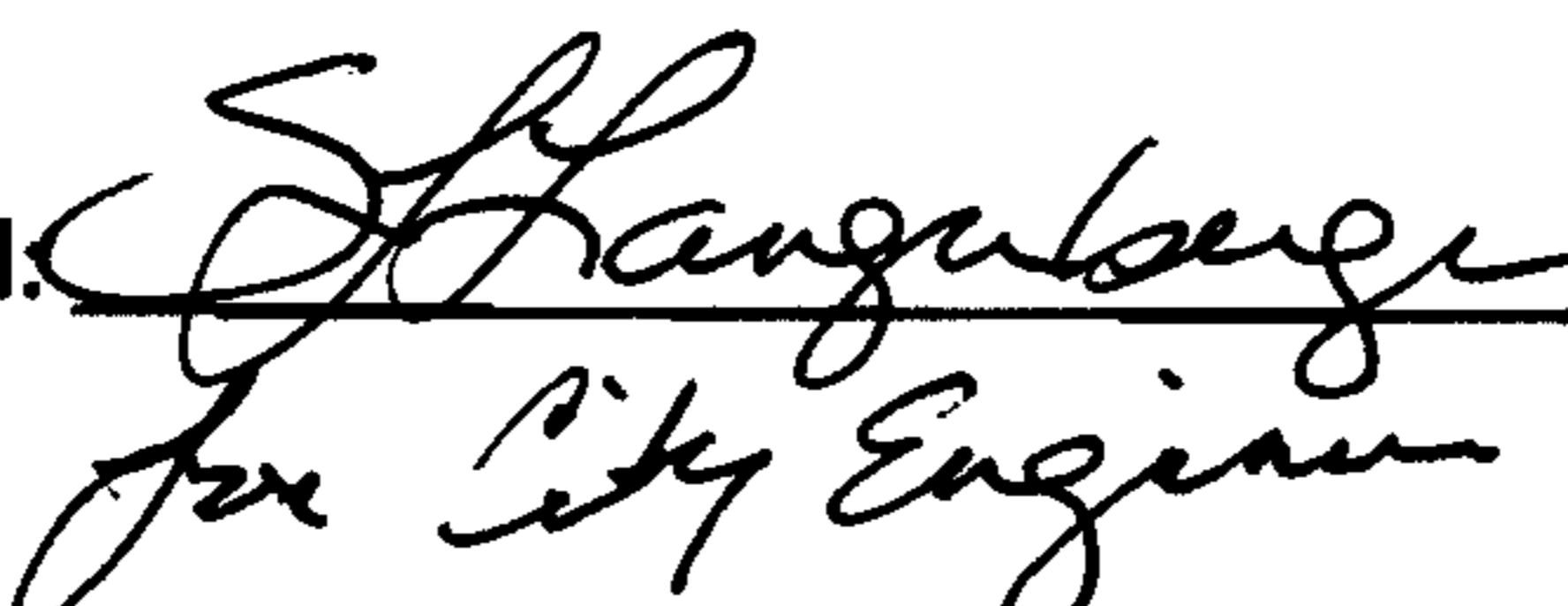
12. Other conditions: N/A

**Permittee's acknowledgment signature:**

By signing this permit I acknowledge that I am acting with the knowledge, consent, and authority of the owners of the property (including all owners having legal or equitable interest in the real property, as defined in Section 1-2 of the City Code; and including common areas legally connected to or associated with the property which is the subject of this application) without whose consent and authority the requested action could not lawfully be accomplished. Pursuant to said authority, I hereby permit City officials to enter upon the property for purposes of inspection and, if necessary, to enter upon such property to perform work required of the applicant if the applicant were to fail to perform the required work. I also acknowledge that I have read this permit document with all its requirements and conditions, and I agree to all of the terms and conditions so stated in this permit.

Applicant/Project Manager's Signature:  Date: 6/28/16

**Approval for issuance:**

City Engineer Approval:  Date: 6-28-16  
(Permit Issuance Date)



**EXHIBIT "A"**  
**DEVELOPMENT PROJECT CONTACT PERSONS**

**City Staff Contact Persons:**

**Development Engineer:** Marc Ragasa  
281 North College Avenue, Fort Collins, CO 80524  
970 221-6603

**Construction Inspector:** Wayne Leonard  
281 North College Avenue, Fort Collins, CO 80524  
970 222-6824

**Current Planner:** Noah Beals  
281 North College Avenue, Fort Collins, CO 80524  
970 416-2313

**Water Utilities Engineer:** Shane Boyle  
700 Wood Street, Fort Collins, CO 80521  
970 221-6339

**Erosion Control Inspector:** Jesse Schlam  
700 Wood Street, Fort Collins, CO 80521  
970 218-2932

**Natural Resources:** Rebecca Everette  
281 North College Avenue, Fort Collins, CO 80524  
970 416-2625

**Traffic Operations:** Joe Olson  
626 Linden Street, Fort Collins, CO 80524  
970 224-6062

**Street closures:** Syl Mireles  
625 Ninth Street, Fort Collins, CO 80524  
970 221-6815

**Forestry:** Tim Buchanan  
215 N Mason Street, Fort Collins, CO 80524  
970 221-6641

**Light and Power:** Janet McTague  
700 Wood Street, Fort Collins, CO 80521  
970 224-6154

**Developer' Contact Persons:**

**Project Manager:** Mark Ossello  
120 W. Cataldo Ave, Suite 100, Spokane, WA 99201  
Mobile: 509-879-8960  
Office: 509-321-3215  
Email: [markio@inlandconstruction.com](mailto:markio@inlandconstruction.com)

**Developer:** Mark Ossello  
120 W. Cataldo Ave, Suite 100, Spokane, WA 99201  
Mobile: 509-879-8960  
Office: 509-321-3215  
Email: [markio@inlandconstruction.com](mailto:markio@inlandconstruction.com)

**Owner(s):** Affinity at Fort Collins, LLC  
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120 W. Cataldo Ave, Suite 100, Spokane, WA 99201  
Mobile: 509-879-8960  
Office: 509-321-3215  
Email: [markio@inlandconstruction.com](mailto:markio@inlandconstruction.com)

**Architect/Planner:** Chris Olson  
Nystrom Olson  
502 W Riverside, Suite 200, Spokane WA 99201  
Office: 509-328-6464  
Cell: 509-844-2169  
Email: [olson@nystromolson.com](mailto:olson@nystromolson.com)

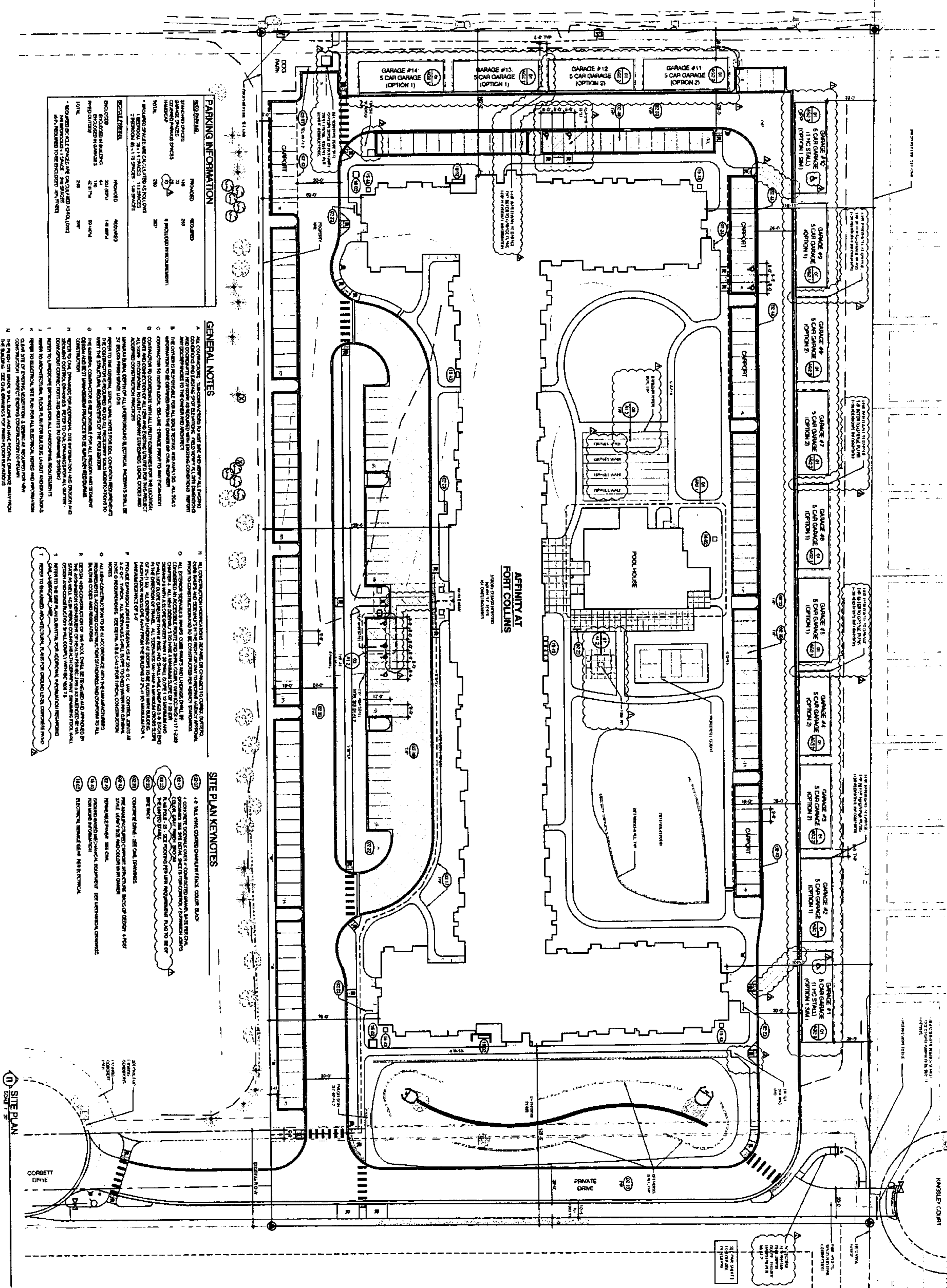
**Project Engineer:** Jason Tarry  
JR Engineering  
7200 South Alto Way, Suite C400, Centennial, CO 80112  
Office: 303-267-6215  
Cell: 303-590-5942  
Email: [jterry@jrengineering.com](mailto:jterry@jrengineering.com)  
Professional License Number: 41795

**General Contractor:** Brian Zwiep  
Brinkman Construction  
3528 Precision Drive, Suite 100, Fort Collins, CO 80528  
Office: 970-267-0954  
Cell: 970-294-1005  
Fax: 970-206-1011  
Email: [brian.zwiep@brinkmanpartners.com](mailto:brian.zwiep@brinkmanpartners.com)









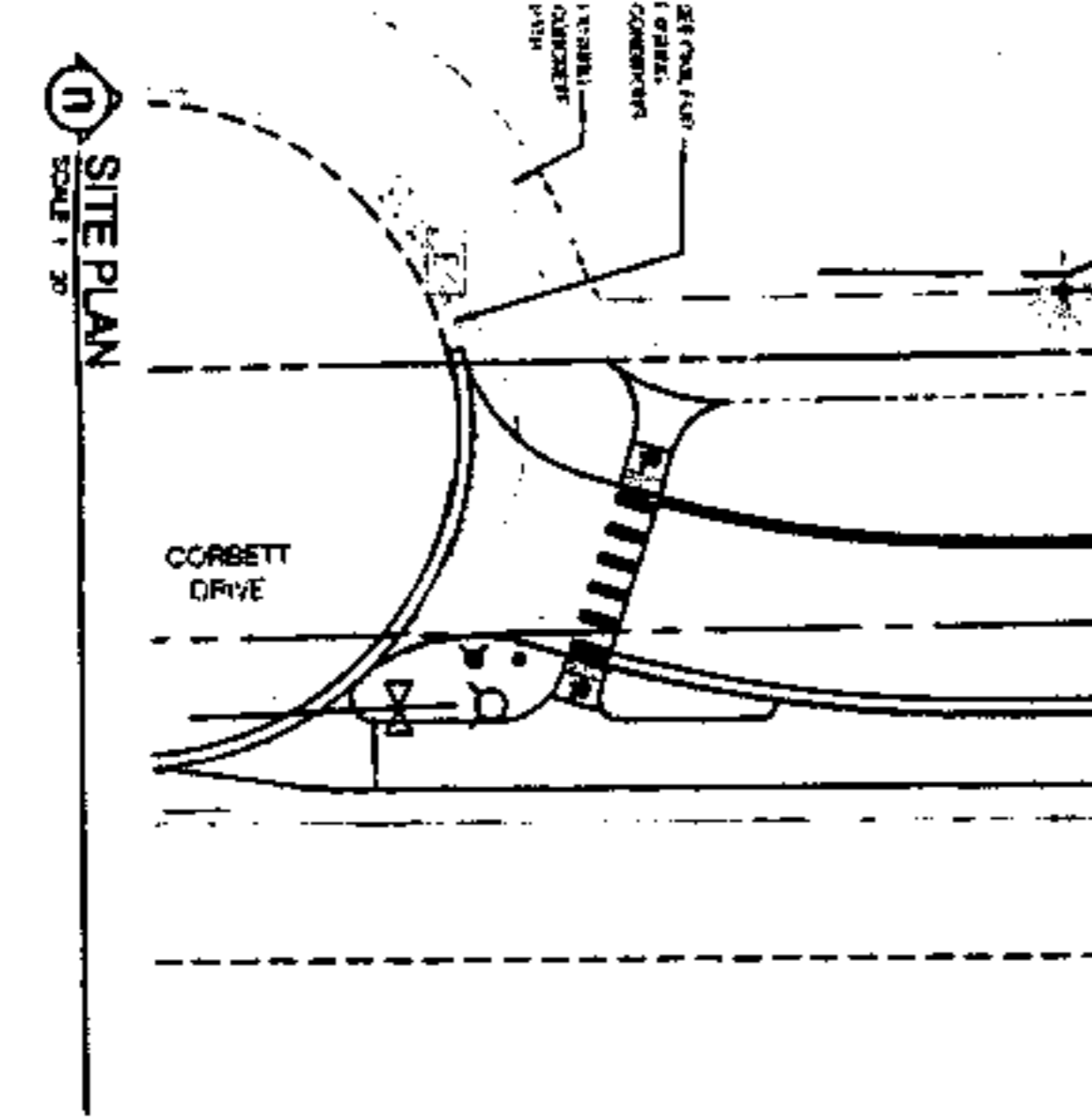
**PARKING INFORMATION**

NO.	REMARKS	REQUIREMENTS
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- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF FORT COLLINS PERMIT SET AND ALL APPLICABLE CODES AND ORDINANCES.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FORT COLLINS.
  3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
  4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
  5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
  6. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE SYSTEMS THROUGHOUT CONSTRUCTION.
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- SITE PLAN NOTES**
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- SITE PLAN KEYNOTES**
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**A1.1**

**AFFINITY AT FORT COLLINS**  
CORBETT DRIVE  
FORT COLLINS, COLORADO  
PERMIT SET

PROJECT: AFFINITY AT FORT COLLINS  
DRAWN BY: [unintelligible]  
CHECKED BY: [unintelligible]  
DATE: 01.13.11

**nystrom+olson**  
architecture  
602 w riverside ave, suite 200, spokane, wa 99201  
ph: 509.328.8484 web: www.nystromolson.com

STATE OF COLORADO  
REGISTERED ARCHITECT  
Nystrom+Olson

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	01.13.11
2	PERMIT COMMENTS	01.13.11

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For additional information or an official copy, please contact Engineering Office 281 North College Fort Collins, CO 80521 USA