

DATE

5 January 1984

DEPARTMENT

Engineering

ITEM:

#5-84 PROSPECT/OVERLAND PUD - Preliminary

COMMENTS

1. 60' of ROW Reg'd on Overland
2. Walk to be 7' wide + 3' from ~~pty~~ line - All walks
need dimensioning
3. Offset of drive only 80' - 200' min if
allowed
4. Too many curb cuts on Prospects -
5. Interior drives should intersect at 90°
6. Trash for Comm/Res is poorly located
7. Drainage report needs stamp.
8. Off site st Imp.



January 23, 1984

Mr. John Dengler
JOHN DENGLER & ASSOCIATES
141 South College, Suite 10
Fort Collins, Colorado 80524

Dear John:

Staff has reviewed the Prospect/Overland PUD preliminary and has the following comments:

1. 60 feet of ROW is required on Overland Trail.
2. Public walks are to be 7 feet in width and located 3 feet from property lines.
3. Interior drives should intersect at 90^o angles.
4. Trash dumpster for residential area is poorly located.
5. Provide detail of the loading zone behind building #3. 20 feet unobstructed access must be provided for fire department access.
6. Indicate easements on site plan.
7. Submit building elevations.
8. No continuous access from Prospect Road to Overland Trail is to be provided.
9. Provide elevations of the rear of building #3 as viewed from the existing residential units.
10. Provide more street trees along Overland Trail.
11. The submitted site plan indicates no evidence of the applicant having worked with adjacent property owners regarding access.
12. The access isle to the 7-11 parking lot is located too close to the car wash exit. This area needs to be redesigned.

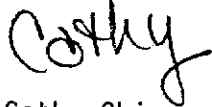
Jim Gefroh
From: Cathy Chianese
January 23, 1984
Page Two

13. The mass of building #3, particularly as viewed from Overland Trail, is too great.

Revised site and landscape plans addressing the above comments are to be submitted by Wednesday, February 8, 1984. By Monday, February 20, 1984, 8½"x 11" reductions and colored renderings of the plans are to be submitted. Ten (10) 24"x36" site and landscape plans are to be submitted by Monday, February 20, 1984.

If you have questions regarding the above comments, please do not hesitate to contact me.

Sincerely,



Cathy Chianese
Senior City Planner

CC:ro

cc: Bonnie Tripoli, Development Coordinator
Maurice Rupel, Development Center Director

ITEM: # 5-84A - PROSPECT/OVERLAND PUD - FINAL

COMMENTS

1. Is driveway in front of car wash going to provide adequate room in front of 7-11 for parking - should show walk + stalls.
2. Show ^{existing} walk on Prospect (if any)
3. Offsite st inp still req'd
4. Interior walks need dimensioning + hock up.
5. Is averaging of stalls appropriate?
6. Curb cuts to be concrete to pty line.
7. Plat should be called Prospect Overlook PUD
8. Easement along pty line is called util + drainage on plat but not on site plan
9.
10. Need Vacation info 75A.P

CITY OF FORT COLLINS

OFFICE OF PLANNING AND DEVELOPMENT

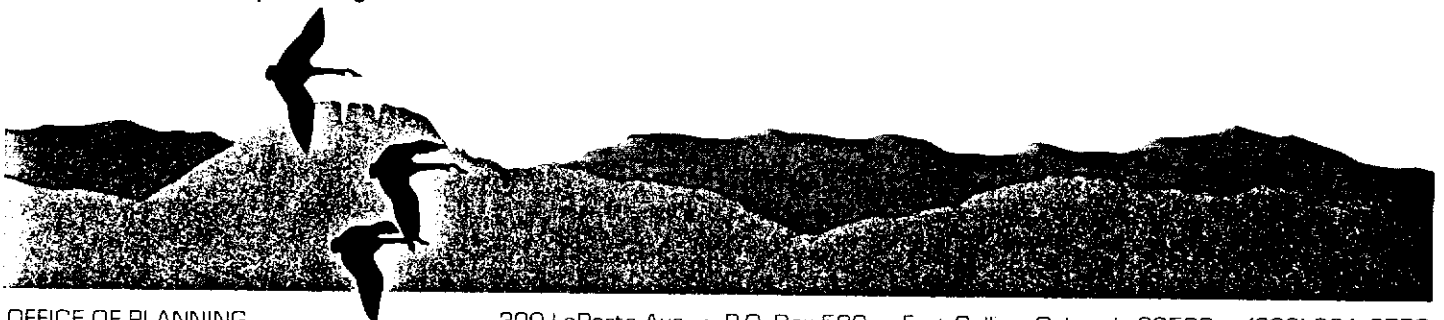
March 22, 1984

Mr. James Brannan
Dengler and Associates
760 Whaler's Way
Building E, Suite 200
Fort Collins, CO 80525

Dear James,

Staff has reviewed the Prospect/Overland PUD final and has the following comments to make:

1. Resubmit building elevations and perspectives.
2. Provide loading zone for commercial space.
3. Indicate motorcycle parking.
4. All signs must comply with City Sign Code.
5. Indicate parking spaces in front of 7-11 to assure useability of access lane in front of car wash.
6. Offsite street improvements required with this project.
7. Dimension interior walks.
8. Curb cuts to property line are to be concrete.
9. Plat should be called "Prospect/Overland PUD".
10. Easement located along property lines is called "utility and drainage easement" on plat but not on site plan.
11. Parking across from car wash should be removed to eliminate conflicts with people exiting car wash.
12. Submit vacation information (request, legal description, 8½" X 11" reduction of original and proposed plats).
13. Parking stall averaging can only be utilized for long term parking.



OFFICE OF PLANNING
AND DEVELOPMENT

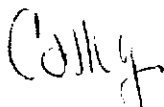
300 LaPorte Ave. • P.O. Box 580 • Fort Collins, Colorado 80522 • (303) 221-6750

14. Verify adequacy of fire department turnaround provided for Phase 1.
15. A fire hydrant must be located within 150 feet of sprinkler connection.
16. Clearly designate Phase 1 and Phase 2 construction.
17. Designate height of landscape berm along Overland Trail.
18. Additional shade trees are to be provided along Overland Trail.
19. Label buildings by number.

Revised site and landscape plans addressing the above comments are to be submitted by Wednesday, April 4, 1984. By Monday, April 16, 1984, 8½" X 11" reductions and colored renderings of the plans are to be submitted. Ten (10) 24" X 36" site and landscape plans are to be submitted by Monday, April 16, 1984.

If you have any questions regarding the above comments, please do not hesitate to contact me.

Sincerely,



Cathy Chianese
Senior City Planner

CC/kb

CC: Bonnie Tripoli, Development Coordinator
Mauri Rupel, Development Center Director

date: 29 Oct 86

department:

Eng

ITEM: 5-84B PROSPECT/OVERLAND PUD AMENDMENT - Preliminary & Final

COMMENTS:

- 1) street improvements along Overland trail.
- 2) Transit Bus stop.
- 3) emergency entrance only?

CITY OF FORT COLLINS

OFFICE OF DEVELOPMENT SERVICES, PLANNING DEPARTMENT

November 13, 1986

MEMORANDUM

TO: Joe Frank, Senior City Planner

FROM: Jim Newell, Civil Engineer I

RE: Project Comments for Prospect/Overland P.U.D. Preliminary/Final

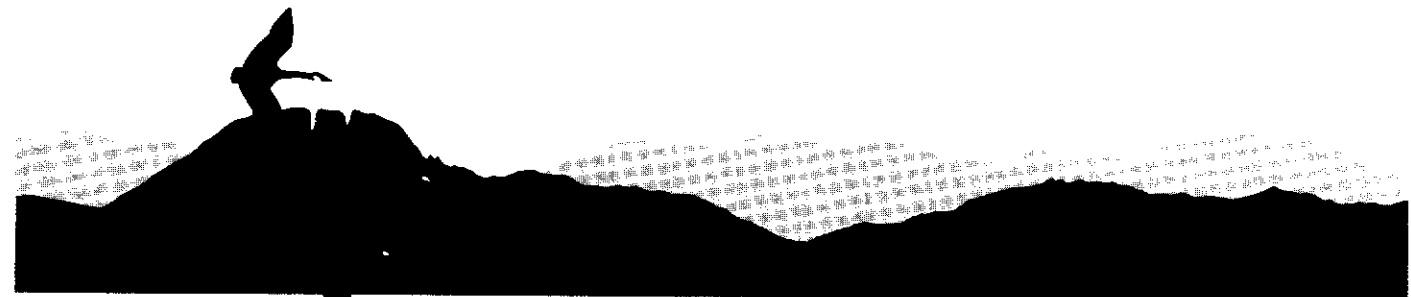
Listed below are the comments for Prospect/Overland P.U.D., Mini Storage, from the City Utilities, Poudre Fire Authority, and the City Engineering Department.

Light and Power Utility

Must have a 7 foot utility easement south of existing 7-11 Store west of Lot 2, along north property line of Lot 3.

Water and Sewer Utility

- 1) Would rather have the service come off the 3/4 " line from Prospect.
- 2) A water meter is required, and a detail must be shown on the utility plans. Locate meter pit east of shut off valve adjacent to Overland Trail.
- 3) You can NOT have a water service under a building! Look at building B.



Mountain Bell

- 1) Request a utility easement (minimum 6' wide) along north property line of lot 3.
(you may combine L&P and Mountain Bell in an 8 foot easement.)

Poudre Fire Authority

- 1) All lanes must be posted "NO PARKING-FIRE LANE".
- 2) Emergency entrance gate must be open full width and only provided with a lock and chain, capable of being cut with standard bolt cutters, or an approved "Knox Box" key box. Both side of gate must be posted NP-FL.
- 3) Pedestrian gates must be provided at the following locations:
 - A) West of building be.
 - B) Between buildings "D" & "E".
 - C) South of building "A".
- 4) Must have "Knox Box" at main entrance gate.
- 5) A fire hydrant must be provided at south west corner, east side of Overland Trail. Contact PFA for specific locations alternatives.

Engineering comments

- 1) The changes are significant enough to require a separate set of utility drawings for Lot 3. These plans should be called "Prospect/Overland Trail P.U.D., Lot 3".
- 2) Need a soils report.
- 3) The Development Agreement for this project will still apply to both phases of Lot 3.

Parks and Recreation Department Comments.

- 1) All landscaping in City right-of-way shall be the responsibility of the property owner.

Stormwater Utility Comments.

Please see attached sheet.

CITY OF FORT COLLINS

OFFICE OF DEVELOPMENT SERVICES, PLANNING DEPARTMENT

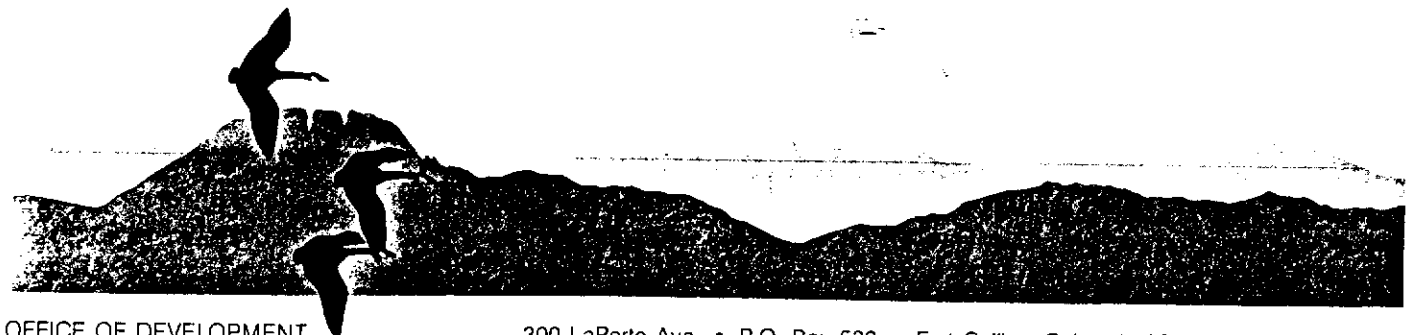
November 14, 1986

John Dengler
c/o Dengler & Assoc.
748 Whalers Way
Fort Collins, CO. 80525

Dear John,

The staff has reviewed your application for preliminary and final PUD approval of the Amendment to the Prospect/Overland P.U.D. and offers the following comments:

1. A seven foot easement will be required along the north property line of lot three for utility purposes. All existing and proposed utility easements must be shown on the site plan. Any existing utility easements which are no longer necessary must be vacated.
2. The utility plans should be designed to provide water service from Prospect Road. Also, a water meter will be required. The detail of the water meter must be indicated on the utility plans. The applicants should locate the meter pit east of the shut-off valve adjacent to Overland Trail. The utility plans need to be amended to relocate the water line from under Building B as shown.
3. The site plan should indicate that all fire access lanes, including the emergency entrance gate, will be posted "No Parking - Fire Lane". The main entrance gate and the emergency entrance gate must open full width and be secured with only a lock and chain, capable of being cut with standard bolt cutters, or an approved "knox-box" key box. Pedestrian gates will be required along portions of the exterior fence to provide emergency access to all portions of buildings including: West of building b; between buildings d and e, and; south of building a. Lastly, an additional fire hydrant will be required on the east side of Overland Trail, near the emergency entrance. The applicant should contact Warren Jones of the Poudre Fire Authority for alternative locations of the hydrant.
4. The proposed changes to the utility plans will be considered as "new" rather than "revisions". Therefore, a complete set of new utility plans must be submitted for review and approval. A soils report will be required.



5. In accordance with the existing utility agreement for the project, the improvements to Overland Trail Road will be required prior to the issuance of any occupancy permits on lot 3. A note should be added to the site plan agreeing to this condition.
6. The stormwater utility staff have a number of comments regarding the proposal. See me for details.
7. The site plan should clearly indicate the use of the property including the following items:
 - a. That the structures will be used for the dead storage of goods and wares;
 - b. That no other residential, business, commercial or industrial activity other than rental of storage units shall be conducted on the premises.
 - c. That no outside storage will be permitted.
 - d. That the storage of hazardous materials such as toxic or explosive substances shall be prohibited;
 - e. That incidental managers quarters including rental leasing space for the storage facility will be permitted, and;
 - f. The size and number of units.
8. The site plan needs to indicate that the amendment includes only lot 3 of the overall PUD.
9. The notes on the site plan regarding lighting should be amended to indicate the following:

"All outdoor lights shall be shielded to direct light and glare only onto the mini-warehouse premises and may be of sufficient intensity to discourage vandalism and theft. Said lighting and glare shall be deflected, shaded, and focused away from all adjoining property"
10. The exact location and type of signage should be indicated on the site plan. Any lit signage should be located away from adjoining residential areas.
11. The hours of operation should be indicated on the site plan. The hours of operation should be restricted to daytime on weekdays only, for example 8:00 a.m. to 7:00 p.m., weekdays.
12. Energy conservation measures being employed in the building operation should be indicated on the site plan.
13. Building elevations should be submitted for all sides of all buildings. In order to maintain high visual quality of the buildings, the portions of buildings d and e which face Overland Trail should be entirely brick rather than a mix of brick and steel siding. The color and type of exterior materials of the buildings should be indicated on the site plan.

14. A solid wood privacy fence would provide a more attractive appearance and would provide more privacy for adjoining properties than the proposed chainlink fence. Also, the wood fence should be double-sided to provide more sound attenuation. Details of the wrought iron fence should be indicated on the landscape plan. Please make these additions and clarifications on the landscape and site plans.

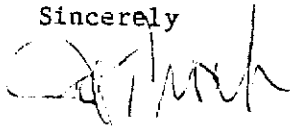
15. The staff has the following concerns regarding the landscape plan:

- a. The material of trash enclosures should be indicated on the site plan. The trash enclosure should be relocated to a location interior to the site.
- b. There are overhead power lines along Overland Trail. Smaller growing street trees should be used in place of the Green Ash, for instance Radiant Crabapple or Vanguard Crabapple. The street trees along Overland Trail should be spaced at 30 - 40 foot intervals rather than 60 feet as shown on the site plan.
- c. The shrub plantings along Overland Trail should be revised to include varieties which are more upright growing and that have a larger maturity. Some of the plant materials indicated on the landscape plan have not been identified. In general, the density of the plant materials should be increased, for instance shrubs should be on 2 - 3 foot spacings. Also, the design of the shrub beds should be delineated indicating mulch, edging and irrigation.
- d. The density of shrub and tree plantings should be increased along the perimeter of the site. Again, the shrub beds in these areas should be better delineated.
- e. The area between the sidewalk and the building along Overland Trail is planned for storm water detention. Yet, this area is shown to be landscaped. How will this conflict be resolved? The staff is concerned about the visual appearance of the buildings from the street if this area is to be for storm water detention. The staff would recommend that the applicants re-evaluate the plan in terms of relocating the storm water detention from this area.
- f. A note should be added to the landscape plan requiring an automatic underground irrigation system.
- g. Foundation plantings should be provided around the trash enclosure.
- h. A note should be added to the site plan indicating that the applicants will have maintenance responsibility for all landscaped areas.
- i. The easement agreements for the 8' landscaped area needs to be submitted for City review and approval.
- j. All ground areas should be blue grass sod. Please indicate on landscape plan.

16. 8 1/2 x 11" PMT reductions of the site, landscape, plat and building elevations and ten full size copies of the site, landscape plan and building elevations should be submitted to this office by noon on Monday, December 8, 1986. Signed mylars of the site plan, landscape plan, subdivision plat and building elevations should be submitted by noon, Thursday December 11, 1986. Also, on that date a signed "Site and Landscape Covenants" document should be submitted.

I would recommend we meet as soon as possible to discuss the above comments. Five copies of revisions to the plans should be submitted no later than November 26, 1986. It is important that these deadlines be followed if the project is to appear on the December agenda of the Planning and Zoning Board. If you should have any questions, please feel free to call me.

Sincerely



Joe Frank
Senior City Planner

cc. Jim Newell, Civil Engineer I

DATE: 8 Jun 87

DEPARTMENT: Eng

ITEM: #5-84C PROSPECT/OVERLAND PUD - Amendment to Lots 1 & 3

No Problems

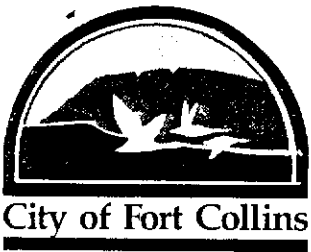
Problems or Concerns (see below)

6/25/87

Date

Jim Naulls

Signature



April 15, 1992

James Brannan
4504 Seaway Circle
Fort Collins, CO 80525

Dear James:

City staff has reviewed the **Prospect Overland PUD, Amended Final** and has the following comments to make:

1. A determination must be made by the applicant about the existing water service on Lot 1.
2. A note needs to be placed on the landscape plan, referencing that a free permit is required from the City Forester prior to trees being planted on public right-of-way. The minimum size for Skyline Honeylocust is 2" caliper.
3. All drives must be posted "No parking - fire lane".
4. The emergency entrance gate must open full width and only be provided with a lock and chain capable of being cut with standard bolt cutters; or an approved "knox box" key box provided. Both sides of the gate must be posted "No parking - fire lane".
5. Pedestrian gates must be provided in exterior fencing in the following locations:
 - west of Building B;
 - between Buildings D and E; and
 - south of building A.
6. A fire hydrant must be provided at the southeast corner of the site, on the east side of Overland Trail. Contact PFA for specific locational alternatives.
7. Clarification is needed regarding whether the vacuum location is really an alternate or the proposed location. We have concerns about the ability of the proposed landscaping to provide adequate visual and sound buffering of the vacuums in this location, given the existing homes to the north.
8. Clarification is also needed regarding the sign proposed on Lot 1. Is this sign intended as the id sign for the entire storage use at this location, or just for Lot 1? What is the proposed sign base height?

9. The number of parking spaces shown in the site data does not appear to match what is shown on the site plan.
10. The site plan needs to clearly reflect what is existing, proposed, or approved yet-to-be-built for the entire site.
11. Any proposed lighting (either site or building mounted) needs to be shown on Lot 1.
12. Building elevations, detailing building height, materials and color need to be submitted. Of particular interest are the north and east elevations, due to the existing residential units in these areas.
13. Clarification is needed on the landscape plan of the landscaping that is existing and what is proposed.
14. The proposed fence on Lot 1 does not show any connection to the proposed structure, to provide the desired security. We recommend that this fence be attached to the building back from the north side of the building. Also, it appears that the storage space in the northern most portion of the building may be difficult to access. Deleting this portion of the building would provide a greater setback from Prospect.
15. The area along the east side of the building on Lot 1 is basically void of plant materials and the use of rock in this area is excessive. The 12' setback width for a building 120' in length does not allow adequate space for screening and buffering this edge of the building. We recommend increasing the setback width and providing a combination of deciduous and coniferous material in this area, beyond the two trees shown on the landscape plan, as buffering between this use and the existing residential units to the east.
16. The outside storage of boats, trailers, motor homes and cars on the site was not a part of the previously approved plan and should be discontinued. A note indicating that outdoor storage is not permitted should be added to the site plan.
17. Clarification is needed regarding the intended use of the parking spaces proposed on Lot 1 and how access into the storage units on this lot would occur. As designed, it does not appear that there is adequate space along the western side of the building to access the building and not block the driveway on this side.
18. The proposed building footprint is 1,700 square feet larger than the previously approved 5,500 square foot footprint. We have concerns about this increased size and bulk, since this lot is located adjacent to residential units to the east and single family homes to the north. Based on this, as well as comments 14 and 15 above, we strongly recommend that the proposed building footprint be reduced, to more closely match

the last approved building size of 5,500 square feet. This reduction would provide additional space to address the above comments on the lack of setback and planting areas.

19. Planning objectives and a point chart need to be submitted. The Auto-Related and Roadside Commercial Point Chart addresses storage uses. Based on my review of this point chart, it appears that the minimum required 50% on this chart is not achieved. The applicant may want to consider the use of energy conservation measures as a way of achieving the needed 50%.
20. To date, storm drainage has not been addressed. As noted at Conceptual Review, the storm drainage report must be revised to address any increase in impervious area. An erosion control plan and report must also be submitted. Please note that receipt of this information after the submittal deadline may result in a delay of this project.

Revised plans and documents addressing the above comments must be submitted to my office on the following schedule:

Wednesday, April 29, 1992

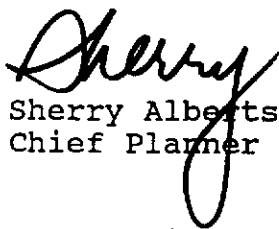
**Five sets of all
revised plans and documents**

Monday, May 11, 1992

**Ten folded sets of the site
plan, landscape plan and
elevations, 8-1/2 inch PMT
and colored rendering of
the site or landscape plan**

Please call me if you have any questions regarding these comments.

Sincerely,



Sherry Albertson-Clark, AICP
Chief Planner

cc Kerrie Ashbeck, Engineering
Glen Schlueter, Stormwater Utility