

Selected Issues Report

2/7/2008

Date:

PROSPECT INDUSTRIAL PARK, LOT 19 PDP - TYPE I AND FINAL PLANS

SELECTION CRITERIA: Status = All

ISSUES:

Engineering/ Randy Maizland

a. The Transportation Development Review Fee (TDRF) paid at time of PDP submittal is \$215 short of what should have been paid. That amount will be added to the TDRF paid at time of Final Compliance submittal.

B. The standard general notes on utility plans must be added.

C. Standard details on the utility plans must be provided.

D. The variance request for the parking setback from Midpoint Drive was not approved.

Transportation Planning/David Averill

a. A Type III barricade is needed at the end of the new sidewalk at the southeast corner of the site.

Department: Engineering

Issue Contact: Randy Maizland

Topic: Engineering

Number: 5
Created: 1/9/2007 Resolved
[1/9/07] The PDP review fee was underpaid by \$215. The acreage cost was not calculated at \$250 x 0.86 acres. This \$215 will be collected at final compliance plan submittal. See copy of TDRF fee calc. sheet attached to redlines.

Number: 6
Created: 1/9/2007 Resolved
[1/9/07] Variance no. 1 for parking setback is not approved. Justification is not adequate for approval. Please see comments on variance request attached to redlines.

Number: 7
Created: 1/9/2007 Resolved
[1/9/07] Variance no. 2 is approved for driveway separation distances.

Number: 8
Created: 1/9/2007 Resolved
[1/9/07] Please provide LCUASS Appendix E General Notes and Construction Notes in the Utility Plan set. General Notes are typically shown on the cover sheet or sheet 2. Please include benchmark information, geotechnical reference and variance information in the General Notes. Revise the sheet index if needed.

Number: 9
Created: 1/9/2007 Resolved

[1/9/07] Please add a standard revision block to all sheets in the title block section on the right side TYP.

Number: 10

Created: 1/9/2007

Resolved

[1/9/07] Please add the geotechnical engineers information in the consultants section on the cover sheet. Add the month and year under the title and legal description on the cover sheet.

Number: 11

Created: 1/9/2007

Resolved

[1/9/07] Please label all existing items being shown on the Utility Plan sheet. Use labeling or legend line types consistently.

Number: 12

Created: 1/9/2007

Resolved

[1/9/07] Show and label all structures and improvements within 150 feet of the site boundary per LCUASS Appendix E requirements.

Number: 13

Created: 1/9/2007

Resolved

[1/9/07] All easement and ROW dedication documents must be submitted for first review with review fees paid prior to scheduling a Type I hearing for the project. The fee is \$250 per document and shall include signed deeds of dedication and legal descriptions stamped by a licensed surveyor. Referenced reception numbers will need to be provided at final compliance plan submittal.

Number: 14

Created: 1/9/2007

Resolved

[1/9/07] Please add the standard note for repair of damaged curb, gutter and sidewalk to the Utility Plan sheet. Note attached to redlines.

Number: 15

Created: 1/9/2007

Resolved

[1/9/07] Please show how the new detached sidewalk connects to an existing sidewalk to the east if one exists.

Number: 16

Created: 1/9/2007

Resolved

[1/9/07] Clearly label or legend the approximate limits of street cut for the sewer connection on Midpoint.

Number: 17

Created: 1/9/2007

Resolved

[1/9/07] Please remove the 2 foot concrete drainage pan from the existing utility easement along the north side of the property.

Number: 18

Created: 1/9/2007

Resolved

[1/9/07] Provide the following standard typical details:

1. 2 foot concrete drainage pan.
2. LCUASS standard high volume drive approach
3. Sidewalk culvert - sidewalk chase drain
4. LCUASS concrete sidewalk detail
5. Detail for 6 inch on-site curb & gutter

Number: 19

Created: 1/9/2007

Resolved

[1/9/07] Please use slightly heavier line type for existing topo on the Grading Plan so that it will copy well.

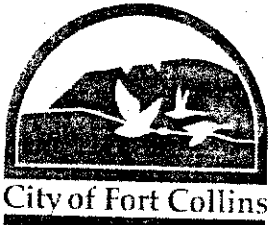
Number: 20 Created: 1/9/2007 Resolved
[1/9/07] Add the standard statement regarding foundation elevations, section II.E. from LCUASS Appendix E to the Grading Plan sheet.

Number: 21 Created: 1/9/2007 Resolved
[1/9/07] See minor comments on Site Plan redline.

Number: 37 Created: 3/19/2007 Pending
[3/19/07] Off-site slope easement legal descriptions look good. Please obtain all required signatures on the deeds of dedication, record documents with the County and reference the reception numbers on the final Plat and on the Utility Plan sheets.

Number: 38 Created: 3/19/2007 Pending
[3/19/07] Please include a copy of the final Plat in the Utility Plan set for reference.

Number: 39 Created: 3/19/2007 Pending
[3/19/07] Please address redline comments and submit mylars for signatures. Include all redlines with your mylar submittal.



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: December 28, 2006

TO: **Engineering Pavement**

PROJECT PLANNER: Steve Olt

**#28-98E PROSPECT INDUSTRIAL PARK,
LOT 19 PDP - TYPE I**

Please return all comments to the project planner no later than the staff review meeting:

January 17, 2007

Note - Please identify your redlines for future reference

- No Problems
- Problems or Concerns (see below, attached, or DMS)

Rick Richter
Name (please print)

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

- Plat
- Site
- Drainage Report
- Other
- Utility
- Redline Utility
- Landscape





City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: December 28, 2006

TO: **Technical Services**

PROJECT PLANNER: Steve Olt

**#28-98E PROSPECT INDUSTRIAL PARK,
LOT 19 PDP - TYPE I**

Please return all comments to the project planner no later than the staff review meeting:

January 17, 2007

Note - Please identify your redlines for future reference

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- Problems or Concerns (see below, attached, or DMS)

JRW/wcm 1/09/07
Name (please print)

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape

