

# PROJECT COMMENT SHEET

Current Planning

**COPY**

DATE: April 1, 1999

TO: Engineering

PROJECT: #52-95A Almost Home Daycare & Preschool –  
Major Amendment to Kay Elder Daycare, P.U.D.  
– Type II (LUC)

All comments must be received by Steve Olt no later than the staff review meeting:

Wednesday, April 14, 1999

*We would like to consider a short review time for this submittal. Thanks!*

*No Comments*

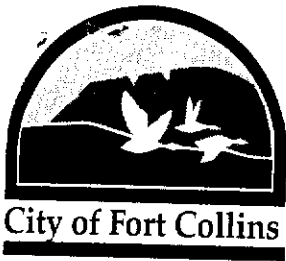
Date: 4-5-99

Signature: *Steve Olt*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

<input type="checkbox"/> Plat	<input type="checkbox"/> Site	<input type="checkbox"/> Drainage Report	<input type="checkbox"/> Other
<input type="checkbox"/> Utility	<input type="checkbox"/> Redline Utility	<input type="checkbox"/> Landscape	





April 14, 1999

Kay & Bryan Elder  
3136 Longhorn Court  
Fort Collins, Co. 80526

Dear Kay & Bryan,

Staff has reviewed your documentation for the **ALMOST HOME DAYCARE and PRESCHOOL CENTER, Project Development Plan (PDP)** development proposal that was submitted to the City on March 31, 1999, and would like to offer the following comments:

1. This development proposal, being in the RL – Low Density Residential Zoning District, is identified as a Planning and Zoning Board (Type II) review under the City's Land Use Code (LUC). Child care centers are permitted uses subject to a Type II review in the District.
2. A copy of the comments from Rick Lee of the **Building Inspection Department** is attached to this letter. Also, he has attached an information sheet regarding requirements associated with Large Day Care Homes. Please contact Rick, at 221-6760, if you have questions about his comments.
3. Ron Gonzales of the **Poudre Fire Authority** is forwarding a copy of Administrative Policy #86-13, regarding Day Care Centers, that will be used for this project. Please contact Ron, at 221-6570, if you have questions about this policy.
4. A copy of the comments received from Jenny Nuckols and Gary Lopez of the **Zoning Department** is attached to this letter. Please contact Jenny or Gary, at 221-6760, if you have questions about their comments.
5. Matt Baker of the **Engineering Department**, administering the City's street oversizing program, stated that street oversizing fees are calculated to be \$6,985.82 for 28 students. Please contact Matt, at 224-6108, if you have questions about this fee.

The following comments and concerns were expressed at the weekly staff meeting on April 14, 1999:

### Engineering

6. There are concerns about the potential traffic impacts in this neighborhood, especially if there could be 28 children at this facility at one time.

### Planning

7. This proposal does not meet the outdoor play area requirement for the number of children proposed for this daycare/preschool. How can this requirement be met?
8. Both the Site Plan and the letter regarding the operational aspects state that this facility could accept up to 28 children, without defining whether or not all 28 children would be there at one time. There is a real concern about that many children in the facility, all at one time. Please clarify the intent of this daycare/preschool operation.
9. The Site Plan shows that there presently is 3,020 square feet of outdoor play area in the back and side yards that is enclosed with a fence meeting the requirements of the LUC, specifically Section 3.8.4(A). However, based on the maximum number of children that is being requested, a total of approximately 3,500 square feet of outdoor play area is required. This section of the LUC cites the fencing and landscaping requirements for these areas and the plan that was submitted for review does not meet the requirements.
10. This is a residence for the owners/operators. How many people reside at this residence and how many vehicles are associated with the residents? This could affect the available parking for parents dropping off and picking up their children.
11. A neighborhood meeting must be held for this development request (Section 2.2.2 of the LUC). The scheduling of this meeting should be coordinated through the Current Planning Department.
12. Additional comments are included on a red-lined Site Plan.

This completes the staff comments at this time. Additional comments will be forthcoming as they are received from City departments and outside reviewing agencies.

Under the development review process and schedule **there is no revision date mandated by the City. The amount of time spent on revisions is up to the applicant.** Upon receipt, the revisions will be routed to the appropriate City

departments and outside reviewing agencies, with their comments due to the project planner no later than the third weekly staff review meeting (Wednesday mornings) following receipt of the revisions. At this staff review meeting the item will be discussed and it will be determined if the project is ready to go to the Planning and Zoning Board for a decision. If so, will be scheduled for the nearest Board hearing date with an opening on the agenda.

Please return all drawings red-lined by City staff with submission of your revisions. The number of copies of revisions for each document to be resubmitted is on the attached Revisions Routing Sheet. **I will be out of the office from April 17<sup>th</sup> to May 4<sup>th</sup>**. You may contact Bob Blanchard, at 221-6765, if you need to discuss these comments. Dave Stringer of the Engineering Department is also another contact person for you. He will be forwarding additional comments as they are received. Dave can be reached at 221-6750.

Sincerely,



Steve Olt  
Project Planner

cc: Engineering  
Stormwater Utility  
Zoning  
Water & Wastewater  
Transportation Planning  
Project File