



DEVELOPMENT CONSTRUCTION PERMIT

Permit Number: 06-02 Issuance Date: 2/14/06

Project Name: Urban Living Lofts at Magnolia

Project A.K.A.: Lofts at Magnolia

Project Location: 210 West Magnolia Street, Fort Collins, CO 80521

Permittee: Alan Strobe, Urban Living Concepts, LLC

City and developer contacts: *See attached Exhibit "A" for names and phone numbers of all contact persons for this project.*

Fees:	Permit Application Fee (paid at the time of application)	\$ <u>400.00 (paid)</u>
	Construction Inspection Fee (paid prior to issuance of this permit)	\$ <u>906.25</u>
	Total	\$ <u>1306.25</u>

Development Bond or other approved security:

Amount of security deposited with the City to guarantee the completion of all public improvements to be constructed as shown on the approved plans for the development.

\$ 56,879.75

Form of security deposited with the City: Letter of Credit

PERFORMANCE REQUIREMENTS OF THIS PERMIT:

1. The Permittee shall be responsible to require their Project Engineer to incorporate into all design drawings and specifications the certification of all materials testing by an Engineer. The Permittee shall have an Engineer prepare revised design drawings and secure City approval for all revisions to the Utility Plans and related documents. The Permittee shall have an Engineer represent, as required by the City, that the improvements are constructed in conformance with the approved Utility Plans and the standards and specifications of the City. The Permittee shall provide "as-constructed" plans prepared by an Engineer prior to the City's acceptance of the constructed public improvements. (All references above to the terms "Project Engineer" and "Engineer" shall mean a Professional Engineer licensed in Colorado.)
2. All contractors who perform work on this project must be bonded and licensed in conformance with City requirements.

3. Construction time restrictions: N/A

4. The applicant understands that additional permits may be required for this development project and the applicant shall secure those permits directly from the issuing departments.

5. This permit, along with a complete set of all approved plans and documents for this project (utility plans, site plan, landscape plan, development agreement, soils report, pavement design, traffic study, drainage report, plat easements and any other official documents), shall be kept on the development site available for use by City staff doing inspections.

6. Permit Expiration (in accordance with Section 29-12 of the Transitional Land Use Regulations or Section 2.6.3(K) of the Land Use Code, whichever is applicable):

a. If construction has not begun within sixty (60) days from the date of issuance of this permit, this permit shall expire and the applicant will **forfeit the permit fee** paid for this permit, whereupon the applicant must re-apply for a new permit.

b. In addition, this permit shall expire one year from the date of issuance. The applicant may apply for an extension by reapplication at least two weeks prior to the expiration date. Such application shall contain information sufficient to justify the granting of the extension. An extension may be granted for up to six months.

7. Building permits and certificates of occupancy will only be issued when all conditions contained in the Development Agreement and Sections 3.3.2(C) and (D) of the Land Use Code or Sections 29-678 and 29-679 of the Transitional Land Use Regulations, whichever is applicable, are met. If the Development Agreement does not specify times for completion of public improvements, or if there is no Development Agreement, then the improvement requirements specified in Section 24-95 of the City Code shall apply, which provides that construction of all improvements shall be required prior to the time of issuance of the first building permit.

8. Acceptance by the City of the public improvements shall be after (1) final inspection has been conducted by the City; (2) punch list items from the final inspection are completed and accepted by the City; and (3) required certifications from the licensed professional engineer that improvements are completed to City standards, specifications and approved Utility Plans; and the "as-constructed" plans have been received and accepted by the City.

9. The warranty on street improvements is for five (5) years from the date of acceptance by the City of the completed improvements, in accordance with Sections 29-13 and 29-14 of the Transitional Land Use Regulations and/or Sections 2.2.3(C)(3)(g), 3.3.1(C)(2), and 3.3.2(C) of the Land Use Code, as applicable.

10. The City Erosion Control Inspector must be notified at least twenty-four (24) hours prior to any

planned construction on this project. All required perimeter silt fencing and other erosion/sediment control best management practices (BMP's) that can be installed prior to construction must be in place and inspected by the City Erosion Control Inspector before any land disturbing activity begins.

11. No work (including grading) shall be started in State Highway right-of-way until a permit is issued by the Colorado Department of Transportation to allow such work to begin.

12. Any staging of equipment and materials when located on public right-of-way will require obtaining an encroachment permit from the City Engineering Inspector. Furthermore, any staging that encroaches onto parking spaces within public right-of-way will require obtaining all necessary approvals from the City Transportation Services Parking Division.

13. Other conditions: N/A

Permittee's acknowledgment signature:

By signing this permit I acknowledge that I am acting with the knowledge, consent, and authority of the owners of the property (including all owners having legal or equitable interest in the real property, as defined in Section 1-2 of the City Code; and including common areas legally connected to or associated with the property which is the subject of this application) without whose consent and authority the requested action could not lawfully be accomplished. Pursuant to said authority, I hereby permit City officials to enter upon the property for purposes of inspection and, if necessary, to enter upon such property to perform work required of the applicant if the applicant were to fail to perform the required work. I also acknowledge that I have read this permit document with all its requirements and conditions, and I agree to all of the terms and conditions so stated in this permit.

Applicant/Project Manager's Signature:  Date: 2/14/06

Approval for issuance:

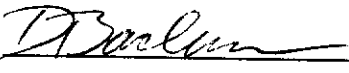
City Engineer Approval:  Date: 2/14/06
(Permit Issuance Date)

EXHIBIT "A"

DEVELOPMENT PROJECT CONTACT PERSONS

	Name, address and numbers
Project Name:	Urban Living Lofts at Magnolia
Project A.K.A.:	Lofts at Magnolia
City Staff Contact Persons:	
Development Engineer:	Marc Virata / City of Fort Collins, 281 North College Avenue, Fort Collins, CO 80524 970 221-6605 x7188
Construction Inspector:	Lance Newlin / City of Fort Collins, 281 North College Avenue, Fort Collins, CO 80524 970 217-4089
Current Planner:	Anne Aspen / City of Fort Collins, 281 North College Avenue, Fort Collins, CO 8052 970 221-6750 x6206
Water Utilities Engineer:	Roger Buffington / City of Fort Collins, 700 Wood Street, Fort Collins, CO 80521 970 221-6854
Erosion Control Inspector:	Bob Zakely / City of Fort Collins, 700 Wood Street, Fort Collins, CO 80521 970 221-6063
Natural Resources:	Doug Moore / City of Fort Collins, 281 North College Avenue, Fort Collins, CO 80522 970 224-6143
Traffic Operations:	Eric Bracke / City of Fort Collins, 625 Linden Street, Fort Collins, CO 80524 970 224-6062
Street closures:	Syl Mireles / City of Fort Collins, 625 Linden Street, Fort Collins, CO 80524 970 221-6815
Transportation Planning:	David Averill / City of Fort Collins, 215 N Mason Street, Fort Collins, CO 80524 970 416-2643

Forestry: Tim Buchanan / City of Fort Collins, 281 North
College Avenue, Fort Collins, CO 80522

Light and Power: Doug Martine / City of Fort Collins, 700 Wood
Street, Fort Collins, CO 80521
970 224-6152

Developer' Contact Persons:

**Project Manager/
Developer/
Owner/
Permittee:** Alan Strope
Urban Living Concepts, LLC
3201 East Mulberry Street, Unit B,
Fort Collins, CO 80524
970 472-9785 (office)
970 566-3469 (cell)
970 472-5667 (fax)

Project Engineer: Tricia Kroetch
North Star Design, Inc.
700 Automation Drive Unit I
Windsor, CO 80550
970 686-6939 (office)
970 686-1188 (fax)
tricia@northstardesigninc.com

Architect/Planner: Justin Larson
JCL Architecture, LLC
201 South College Avenue, Suite 205
Fort Collins, CO 80521
970 224-5710 (office)
970 214-5632 (cell)
970 224-5715 (fax)
jcl-architecture@qwest.net

General Contractor: Paul Brinkman
Brinkman Construction Inc.
1315 Oakridge Drive, Suite 100
Fort Collins, CO 80525
970 267-0954 (office)
970 217-1503 (cell)
970 206-1011 (fax)

To: DAN SPRAGGS
 613-1853
 From: Wallace V. R. G. D. A.
 221-6605

OBJECT QUANTITIES AND COST ESTIMATE SHEET

A		B		C		D		E		F		G		H	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Urban Living Lofts	DESCRIPTION	ESTIMATED QUANTITY	INFRASTRUCTURE COST PER UNIT	INFRASTRUCTURE COST PER UNIT	TOTAL ESTIMATED INFRASTRUCTURE COST	INSPECTION FEE PER UNIT (PROVIDED BY THE CITY)	TOTAL INSPECTION FEE								
	(LIST ALL PUBLIC AND PRIVATE IMPROVEMENTS)	(PROVIDED BY THE PROJECT ENGINEER)	(COST ESTIMATE APPROVED BY THE CITY)	(COST ESTIMATE APPROVED BY THE CITY)											
8	Storm Sewer														
9	Reinforced Concrete Pipe	L.F.	\$0.00	\$0.00	\$0.00	\$0.70	\$0.00								\$0.00
10	Trench	L.F.	\$15.80	\$15.80	\$15.80	\$0.70	\$135.80								\$0.00
11	Concrete Headwall	C.Y.	\$0.00	\$0.00	\$0.00	\$3.50	\$0.00								\$0.00
12	Water Quality Outlet Structure	C.Y.	\$0.00	\$0.00	\$0.00	\$3.50	\$0.00								\$0.00
13	All Inlet Types	EACH	\$0.00	\$0.00	\$0.00	\$103.00	\$0.00								\$0.00
14	Manhole	EACH	\$0.00	\$0.00	\$0.00	\$103.00	\$0.00								\$0.00
15															
16	Water & Sanitary Sewer														
17	Sanitary Sewer Main	L.F.	\$0.00	\$0.00	\$0.00	\$0.70	\$0.00								\$0.00
18	Water Main	L.F.	\$44.60	\$44.60	\$2,230.00	\$0.70	\$70.00								\$70.00
19	Trench	L.F.	w/above		\$0.00	\$0.70	\$70.00								\$70.00
20	Water/Sewer Service Line Stub	EACH	\$1,250.00	\$1,250.00	\$3,750.00	\$70.00	\$210.00								\$0.00
21	Fire Hydrant	EACH	\$0.00	\$0.00	\$0.00	\$70.00	\$0.00								\$0.00
22	Manhole	EACH	\$0.00	\$0.00	\$0.00	\$103.00	\$0.00								\$0.00
23	Valves	EACH	\$575.00	\$575.00	\$0.00	\$0.00	\$0.00								\$0.00
24	Meter Pit (1')	EACH	\$4,950.00	\$4,950.00	\$4,950.00	\$35.00	\$70.00								\$35.00
25	Fitting (Bend, Tee, Cross)	EACH	\$375.00	\$375.00	\$750.00	\$35.00	\$70.00								\$70.00
26	Water Main Connection	EACH	\$3,670.00	\$3,670.00	\$7,340.00	\$35.00	\$70.00								\$70.00
27															
28	Street System														
29	Grading	L.S.	\$0.00	\$0.00	\$0.00	\$0.45	\$310.45								\$0.00
30	Pavement	S.Y.	\$49.75	\$49.75	\$37,859.75	\$1.00	\$0.00								\$0.00
31	Curb & Gutter	L.F.	\$0.00	\$0.00	\$0.00	\$1.00	\$0.00								\$0.00
32	Detached Sidewalk	L.F.	\$0.00	\$0.00	\$0.00	\$1.00	\$0.00								\$0.00
33	Pedestrian Ramps	L.F.	\$0.00	\$0.00	\$0.00	\$1.00	\$0.00								\$0.00
34	Apron	S.Y.	\$0.00	\$0.00	\$0.00	\$0.45	\$0.00								\$0.00
35	Crosspan	S.Y.	\$0.00	\$0.00	\$0.00	\$0.45	\$0.00								\$0.00
36															
37															
38															
39															
40															
41															
42															

56,879.75
 990.45

PRIVATE IMPROVEMENTS REQUIRING CITY INSPECTIONS WILL NEED TO BE INCLUDED. HOWEVER PRIVATE IMPROVEMENTS WILL NOT BE INCLUDED IN THE TOTAL INFRASTRUCTURE COST FOR BONDING.

**DEVELOPMENT CONSTRUCTION PERMIT
APPLICATION**

(2/16/99)

For City use only: Application Number: A002-06 Application Date: January 24, 2006

Permit application fee: \$ 300.00

INSTRUCTIONS:

1. Complete this form (some questions may not apply to you) and attach all necessary documents and submit to the Development Engineering Section of the City.
2. If you have any questions contact the Development Engineer, Marc Virata, at 221-6605.
3. Submit the Application and pay the Application Fee at the fee at the Engineering counter at 281 N. College Avenue.

PROJECT INFORMATION:

Project Name (as approved by the City):

Urban Living Lofts at Magnolia

Project A.K.A. (Marketing name if different from Project Name):

Lofts at Magnolia

Project Location: 210 West Magnolia Street, Fort Collins, Colorado 80521

Property Owner (At the time of this permit issuance):

Individual Name: Alan Strobe

Company Name: Urban Living Concepts, LLC

Address: 3201 East Mulberry Street, Unit B, Fort Collins, CO 80524

Phone number(s):

Office: 970-472-9785

Cellphone: 970-566-3469

Fax number: 970-472-5667

Email: alan@loftsatmagnolia.com

Applicant/Project Manager (The primary contact person for all matters regarding this project, and the person responsible for all matters referencing "the Developer" in the Development Agreement for this project):

Individual Name: Alan Strobe

Company Name: Urban Living Concepts, LLC

Address: 3201 East Mulberry Street, Unit B, Fort Collins, CO 80524

Phone number(s):

Office: 970-472-9785

Cellphone: 970-566-3469

Fax number: 970-472-5667

Email: alan@loftsatmagnolia.com

Permittee (Person who is to sign the Development Construction Permit):

Individual Name: Alan Strope
Company Name: Urban Living Concepts, LLC
Address: 3201 East Mulberry Street, Unit B, Fort Collins, CO 80524
Phone number(s):
Office: 970-472-9785
Cellphone: 970-566-3469
Fax number: 970-472-5667
Email: alan@loftsatmagnolia.com

Project Engineer (A Colorado licensed professional engineer who is the civil engineer, the person, responsible for the design of this project, responsible for certification that improvements are constructed in accordance with approved plans, responsible for making revisions to plans with City approval and for providing as-constructed plans):

Individual Name: Tricia Kroetch
Company Name: North Star Design, Inc
Address: 700 Automation Drive, Unit I, Windsor, Colorado 80550
Phone number(s):
Office: 970-686-6939
Cellphone: _____
Fax number: 970-686-1188
Email: tricia@northstardesigninc.com
Professional License Number: 31306

Architect/Planner (The person responsible for the site design of this project)

Individual Name: Justin Larson
Company Name: ICL Architecture, LLC
Address: 201 South College Avenue, Suite 205, Fort Collins, Colorado 80521
Phone number(s):
Office: 970-224-5710
Cellphone: 970-214-5632
Fax number: 970-224-5715
Email: jcl-architecture@qwest.net

Developer (The party or parties referenced in the Development Agreement who are responsible for the Developer's obligations contained in the Agreement--add additional names below):

Individual Name: Alan Strope
Company Name: Urban Living Concepts, LLC
Address: 3201 East Mulberry Street, Unit B, Fort Collins, CO 80524
Phone number(s):
Office: 970-472-9785
Cellphone: 970-566-3469
Fax number: 970-472-5667
Email: alan@loftsatmagnolia.com

General Contractor (The contractor in overall charge of the public infrastructure construction):

Individual Name: Paul Brinkman
Company Name: Brinkman Construction, Inc. License #B-361
Address: 1315 Oakridge Dr., Suite 100, Fort Collins, CO 80525
Phone number(s):
Office: (970) 267-0954
Cellphone: 970-217-1503
Fax number: 970-206-1011
Email: paul.brinkman@brinkmanpartners.com

If you have no General Contractor, list all other contractors below.

Grading contractor:

Individual Name: _____
Company Name : _____
Address: _____
Phone number(s):
Office: _____
Cellphone: _____
Fax number: _____
Email: _____

Utility contractor:

Individual Name: _____
Company Name : _____
Address: _____
Phone number(s):
Office: _____
Cellphone: _____
Fax number: _____
Email: _____

Concrete contractor for flat work:

Individual Name: _____
Company Name : _____
Address: _____
Phone number(s):
Office: _____
Cellphone: _____
Fax number: _____
Email: _____

Concrete contractor for structures:

Individual Name: _____
Company Name : _____
Address: _____
Phone number(s):
Office: _____
Cellphone: _____
Fax number: _____

Email: _____

Paving contractor:

Individual Name: _____

Company Name : _____

Address: _____

Phone number(s): _____

Office: _____

Cellphone: _____

Fax number: _____

Email: _____

Landscape contractor:

Individual Name: _____

Company Name : _____

Address: _____

Phone number(s): _____

Office: _____

Cellphone: _____

Fax number: _____

Email: _____

Other contractors and parties involved in the project:

SUBMIT THE FOLLOWING ITEMS (Required for all projects):

- 8 1/2"x11" copy of the Site Plan
- Proposed Project Schedule
- Project quantities and cost estimate for all of the public improvements to be constructed. In addition, include all private improvements that are required to be inspected by the City Construction Inspectors. This information must be submitted in the format shown on the attached form titled "Project Quantities and Cost Estimate Sheet."

ADDITIONAL SUBMITTALS (Required if checked):

- Traffic control plan(s) for the project
- Proposed haul routes shown on a City map
- Shop drawings
- Other _____

CONSTRUCTION COORDINATION MEETING: A construction coordination meeting to discuss plans and special requirements for your project, is required for all development projects. The people required to attend the meeting are the Project Manager, Project Engineer, Developer, Architect/Land

Planner and General Contractor (if no General Contractor, representatives for each of the contractors expected to work on this project)

People to Attend: List the peoples names and titles for those who will attend the pre-construction meeting:

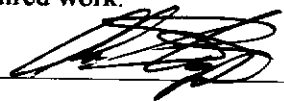
Name	Title
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

ESTIMATED COST OF INFRASTRUCTURE IMPROVEMENTS: Provide the estimated value of all public infrastructure improvements that will be constructed and accepted by the City to own and maintain. In addition provide the value of all private infrastructure improvements that the City will inspect and require certification for. The estimate shall be in the same format as the attached sheet titled "Project Quantities and Cost Estimate Sheet."

Public infrastructure, estimated cost: \$ 19,855.20

Private infrastructure, estimated cost: \$ 3,065.20

I certify that the information on this permit application along with the required additional submittals are true and correct to the best of my knowledge, and that in filing this application I am acting with the knowledge, consent, and authority of the owners of the property (including all owners having legal or equitable interest in the real property, as defined in Section 1-2 of the City Code; and including common areas legally connected to or associated with the property which is the subject of this application) without whose consent and authority the requested action could not lawfully be accomplished. Pursuant to said authority, I hereby permit City officials to enter upon the property for purposes of inspection and, if necessary, to enter upon such property to perform work required of the applicant if the applicant were to fail to perform the required work.

Applicant Signature:  Date: 1/24/06

ID	Task Name	Duration	Start	Finish	27, '05
1	Urban Living Lofts - Four-story Loft Project (40,480 square feet)	333 days	Mon 11/28/05	Wed 3/7/07	M T W T F
2	General Conditions	62 days	Mon 11/28/05	Tue 2/21/06	
3	Submit, review & obtain building permits/Development Agreement	60 days	Mon 11/28/05	Fri 2/17/06	
4	Obtain inspection & sign-off for erosion control plan @ site	1 day	Tue 2/21/06	Tue 2/21/06	
5	Long Lead Procurement	103 days	Wed 1/18/06	Fri 6/9/06	
6	Submit shop drawings and order long lead items - arch, precast concrete	8 wks	Tue 3/7/06	Mon 5/1/06	
7	Submit shop drawings and order long lead items - premanufactured roof trusses	8 wks	Fri 4/7/06	Thu 6/1/06	
8	Submit shop drawings and order long lead items - TJI floor joists	8 wks	Tue 2/7/06	Mon 4/3/06	
9	Submit shop drawings and order long lead items - roofing	8 wks	Tue 4/11/06	Mon 6/5/06	
10	Submit shop drawings and order long lead items - elevator	16 wks	Mon 2/20/06	Fri 6/9/06	
11	Submit shop drawings and order long lead items - plumbing	8 wks	Wed 2/1/06	Tue 3/28/06	
12	Submit shop drawings and order long lead items - electric	8 wks	Wed 2/1/06	Tue 3/28/06	
13	Submit shop drawings and order long lead items - HVAC	8 wks	Wed 2/1/06	Tue 3/28/06	
14	Scope, procure and set crane	8 wks	Wed 1/18/06	Tue 3/14/06	
15	Detail, fabricate and deliver steel	12 wks	Mon 1/23/06	Fri 4/14/06	
16	Mobilize on Site	22 days	Mon 2/20/06	Tue 3/21/06	
17	Install erosion control system	1 day	Mon 2/20/06	Mon 2/20/06	
18	Install temporary power	2 days	Wed 2/22/06	Thu 2/23/06	
19	Set up site office	2 days	Fri 2/24/06	Mon 2/27/06	
20	Confirm property pins & set site benchmarks	1 day	Tue 2/28/06	Tue 2/28/06	
21	Prepare site - lay down yard and install temporary fencing	3 days	Tue 2/28/06	Thu 3/2/06	
22	Set, power-up, test & commission crane	5 days	Wed 3/15/06	Tue 3/21/06	
23	Site Demolition, Grading and Utilities	186 days	Tue 2/28/06	Tue 11/14/06	
24	Select demolition/clear and grub site	10 days	Tue 2/28/06	Mon 3/13/06	
25	Magnolia Street water main	4 wks	Tue 2/28/06	Mon 3/27/06	
26	Rough grade site (cut and fill)	2 days	Tue 3/14/06	Wed 3/15/06	
27	Install site utilities	3 wks	Thu 3/16/06	Wed 4/5/06	
28	Perform final site grading	1 wk	Wed 11/8/06	Tue 11/14/06	
29	Structural Demolition & Shoring	10 days	Tue 2/28/06	Mon 3/13/06	
30	Install temporary shoring system	5 days	Tue 2/28/06	Mon 3/6/06	

Task
 Progress
 Milestone
 Summary
 Rolled Up Task
 Rolled Up Milestone
 Rolled Up Progress
 Split
 External Tasks
 Project Summary
 Group By Summary

Project: Urban Living Lofts
Date: Wed 1/25/06

ID	Task Name	Duration	Start	Finish	27 '05
					M T W T F
31	Select demolition at existing structure	5 days	Tue 3/7/06	Mon 3/13/06	
32	Foundations	27 days	Thu 3/16/06	Fri 4/21/06	
33	Establish primary grid lines & survey control points	2 days	Thu 3/16/06	Fri 3/17/06	
34	Caissons (lower + elevator)	5 days	Mon 3/20/06	Fri 3/24/06	
35	Caissons (upper)	10 days	Mon 3/27/06	Fri 4/7/06	
36	Install foundations (lower)	1 wk	Mon 3/27/06	Fri 3/31/06	
37	Install foundations (upper)	3 wks	Mon 4/3/06	Fri 4/21/06	
38	Masonry Work (Shear Cores)	25 days	Mon 4/3/06	Fri 5/5/06	
39	Elevator core - South	3 wks	Mon 4/3/06	Fri 4/21/06	
40	Stair core - North	4 wks	Mon 4/10/06	Fri 5/5/06	
41	Steel Erection and Level 1 Deck	20 days	Mon 4/24/06	Fri 5/19/06	
42	Erect structural steel & deck system	2 wks	Mon 4/24/06	Fri 5/5/06	
43	Form & pour deck	2 days	Mon 5/8/06	Tue 5/9/06	
44	Install stairs and miscellaneous iron railing	2 wks	Mon 5/8/06	Fri 5/19/06	
45	Framing/Carpentry Work	75 days	Wed 5/10/06	Tue 8/22/06	
46	Install exterior & interior partitions - floor 2	3 wks	Wed 5/10/06	Tue 5/30/06	
47	Install subfloor system - floor 3	2 wks	Wed 5/31/06	Tue 6/13/06	
48	Install exterior & interior partitions - floor 3	3 wks	Wed 6/14/06	Tue 7/4/06	
49	Install subfloor system - floor 4	2 wks	Wed 7/5/06	Tue 7/18/06	
50	Install exterior & interior partitions - floor 4	2 wks	Wed 7/19/06	Tue 8/1/06	
51	Install roof trusses, overframing & sheathing	3 wks	Wed 8/2/06	Tue 8/22/06	
52	Exterior Enclosure Work	70 days	Wed 8/2/06	Tue 11/7/06	
53	Install windows (punched openings)	3 wks	Wed 8/2/06	Tue 8/22/06	
54	Install brick & stone veneer	10 wks	Wed 8/9/06	Tue 10/17/06	
55	Install Stucco panels	2 wks	Wed 10/18/06	Tue 10/31/06	
56	Install aluminum storefront windows & doors	2 wks	Wed 10/18/06	Tue 10/31/06	
57	Install exterior architectural metals & railings	3 wks	Wed 10/18/06	Tue 11/7/06	
58	Roofing & Trim	30 days	Wed 8/23/06	Tue 10/3/06	
59	Install flat roofing	1 wk	Wed 8/23/06	Tue 8/29/06	
60	Install sloped roofing	3 wks	Wed 8/30/06	Tue 9/19/06	

Project: Urban Living Lofts
Date: Wed 1/25/06

Task

Progress

Milestone

Summary

Rolled Up Task

Rolled Up Milestone

Rolled Up Progress

Split

External Tasks

Project Summary

Group By Summary



ARCHITECTURE
LLC

Studio & Gallery at:

Loft at Magnolia

Museum of Contemporary Art

201 South College Ave
Studio 205
Fort Collins, CO 80521

studio: 970.224.5710
fax: 970.224.5715

www.THEARTOFCONSTRUCTION.com

Date

1/26/05

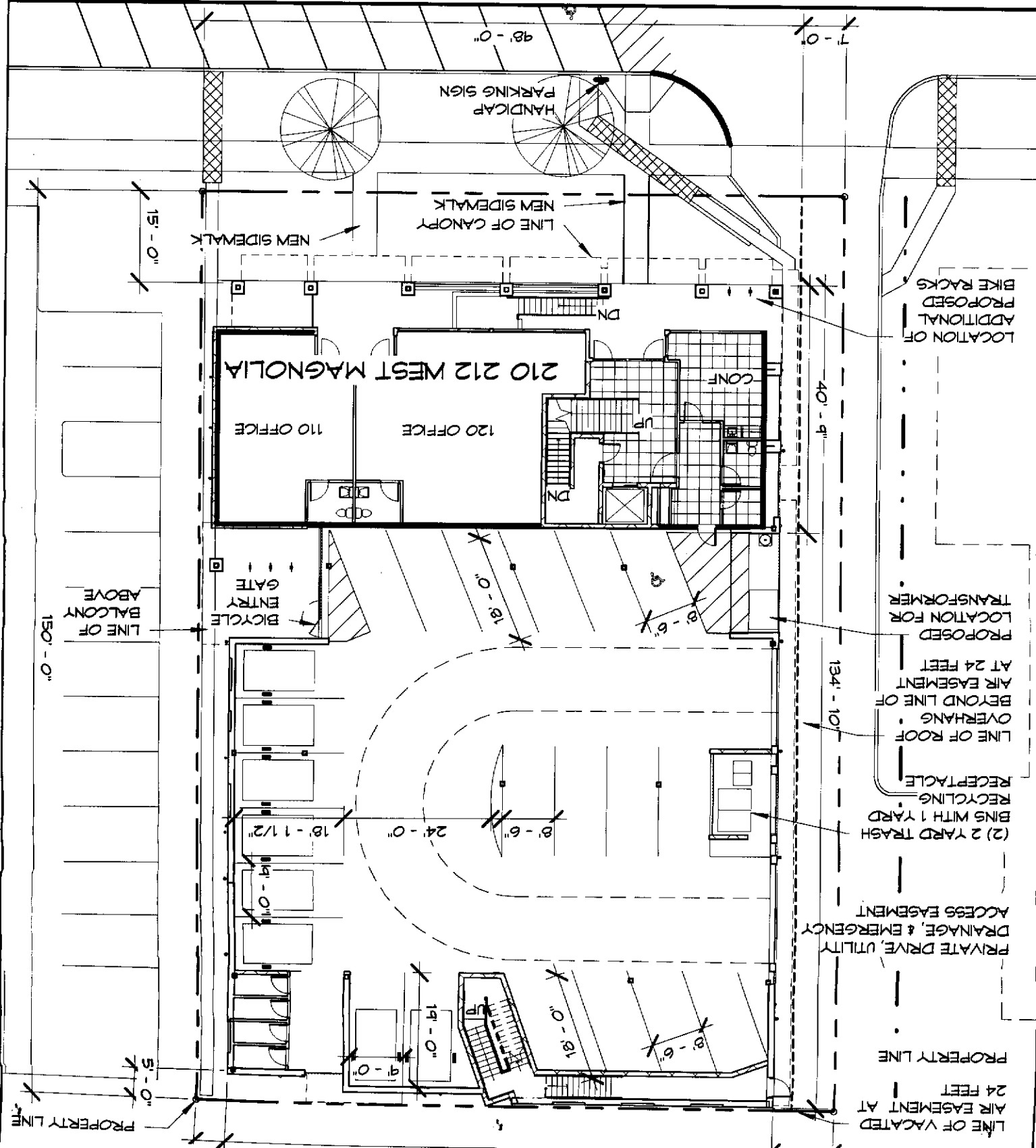
Scale 3/64" = 1'-0"

Project number

702005

Site Plan

AS-1



"PROJECT QUANTITIES AND COST ESTIMATE SHEET"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42		
Urban Living Lofts																																											
DESCRIPTION	(LIST ALL PUBLIC AND APPLICABLE PRIVATE IMPROVEMENTS)	UNITS OF MEASURE	ESTIMATED QUANTITY (PROVIDED BY THE PROJECT ENGINEER)	INFRASTRUCTURE CONSTRUCTION COST PER UNIT OF MEASURE	(COST ESTIMATE APPROVED BY THE CITY)	TOTAL ESTIMATED INFRASTRUCTURE COST	INSPECTION FEE PER UNIT (PROVIDED BY THE CITY)	TOTAL INSPECTION FEE																																			
7	Storm Sewer	L.F.																																									
8	Reinforced Concrete Pipe	L.F.																																									
9	Trench	L.F.																																									
10	Concrete Headwall	C.Y.	494	\$15.80	\$7,805.20	\$0.70	\$346.18																																				
11	Water Quality Outlet Structure	C.Y.		\$0.00	\$0.00	\$3.50	\$0.00																																				
12	All Inlet Types	C.Y.		\$0.00	\$0.00	\$3.50	\$0.00																																				
13	Manhole	EACH		\$0.00	\$0.00	\$103.00	\$0.00																																				
14	Manhole	EACH		\$0.00	\$0.00	\$103.00	\$0.00																																				
15	Water & Sanitary Sewer																																										
16	Sanitary Sewer Main	L.F.		\$0.00	\$0.00	\$0.70	\$0.00																																				
17	Water Main	L.F.	50	\$44.60	\$2,230.00	\$0.70	\$35.00																																				
18	Trench	L.F.	50		\$0.00	\$0.70	\$35.00																																				
19	Water/Sewer Service Line Stub	EACH	3	w/above	\$3,750.00	\$70.00	\$210.00																																				
20	Fire Hydrant	EACH		\$1,250.00	\$0.00	\$70.00	\$0.00																																				
21	Manhole	EACH		\$0.00	\$0.00	\$103.00	\$0.00																																				
22	Valves	EACH		\$0.00	\$0.00	\$70.00	\$0.00																																				
23	Meter Pit (1")	EACH	1	\$575.00	\$0.00	\$70.00	\$0.00																																				
24	Fitting (Band, Tee, Cross)	EACH	1	\$4,950.00	\$4,950.00	\$35.00	\$35.00																																				
25	Water Main Connection	EACH	2	\$375.00	\$750.00	\$35.00	\$70.00																																				
26	Water Main Connection	EACH	2	\$3,670.00	\$7,340.00	\$35.00	\$70.00																																				
27	Street System																																										
28	Grading	L.S.																																									
29	Pavement	S.Y.																																									
30	Curb & Gutter	L.F.	761	\$49.75	\$37,859.75	\$0.45	\$310.45																																				
31	Detached Sidewalk	L.F.		\$0.00	\$0.00	\$1.00	\$0.00																																				
32	Pedestrian Ramps	L.F.		\$0.00	\$0.00	\$1.00	\$0.00																																				
33	Apron	L.F.		\$0.00	\$0.00	\$1.00	\$0.00																																				
34	Crossspan	S.Y.		\$0.00	\$0.00	\$0.45	\$0.00																																				
35	Crossspan	S.Y.		\$0.00	\$0.00	\$0.45	\$0.00																																				
36																																											
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* PRIVATE IMPROVEMENTS REQUIRING CITY INSPECTIONS WILL NEED TO BE INCLUDED. HOWEVER PRIVATE IMPROVEMENTS WILL NOT BE INCLUDED IN THE TOTAL INFRASTRUCTURE COST FOR BONDING.

TOTAL PROJECT COST \$ 56,879.75
TOTAL INSPECTION FEE \$ 906.25