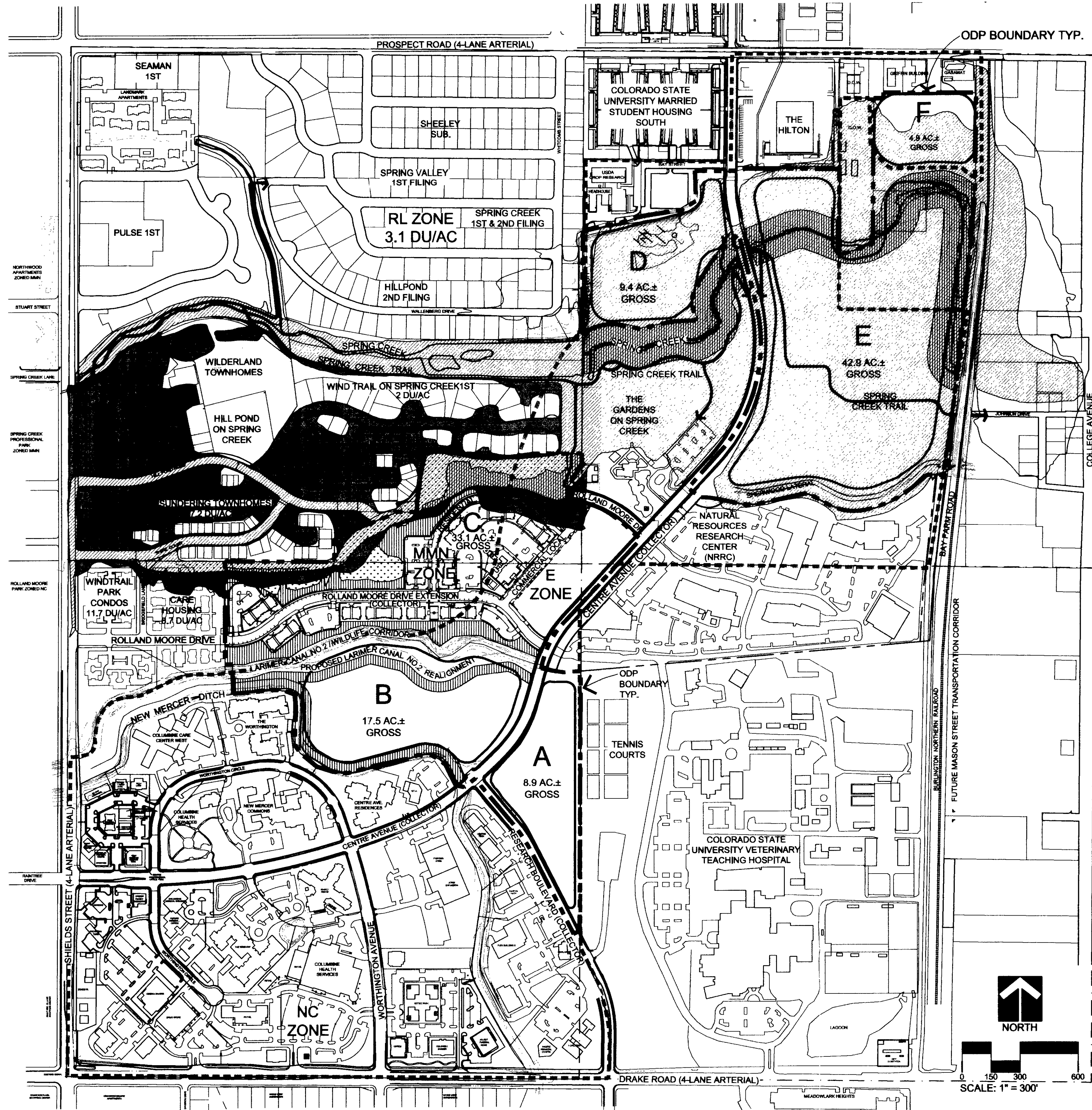


OFFICIAL DEVELOPMENT PLAN MAP

SCALE: 1" = 300'



LEGAL DESCRIPTION

A PARCEL DESCRIBED AS PARCEL A COMPRISED OF 8.9 ACRES, LOCATED ALONG THE EAST SIDE OF CENTRE AVENUE IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

A PARCEL DESCRIBED AS PARCEL B COMPRISED OF 17.5 ACRES, LOCATED ALONG THE WEST SIDE OF CENTRE AVENUE IN THE SOUTHWEST 1/4 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

A PARCEL DESCRIBED AS PARCEL C COMPRISED OF 33.1 ACRES, LOCATED ALONG THE WEST SIDE OF CENTRE AVENUE, IN PRINCIPALLY THE WEST 1/2 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

A PARCEL DESCRIBED AS PARCEL D COMPRISED OF 8.4 ACRES, LOCATED ALONG THE WEST SIDE OF CENTRE AVENUE IN THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

A PARCEL DESCRIBED AS PARCEL E COMPRISED OF 42.8 ACRES, LOCATED ALONG THE EAST SIDE OF CENTRE AVENUE IN THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

A PARCEL DESCRIBED AS PARCEL F COMPRISED OF 4.9 ACRES, LOCATED ALONG THE WEST SIDE OF THE BURLINGTON NORTHERN RAILROAD RIGHT-OF-WAY IN THE NORTHEAST 1/4 OF SECTION 23, TOWNSHIP 7 NORTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO.

GENERAL NOTES

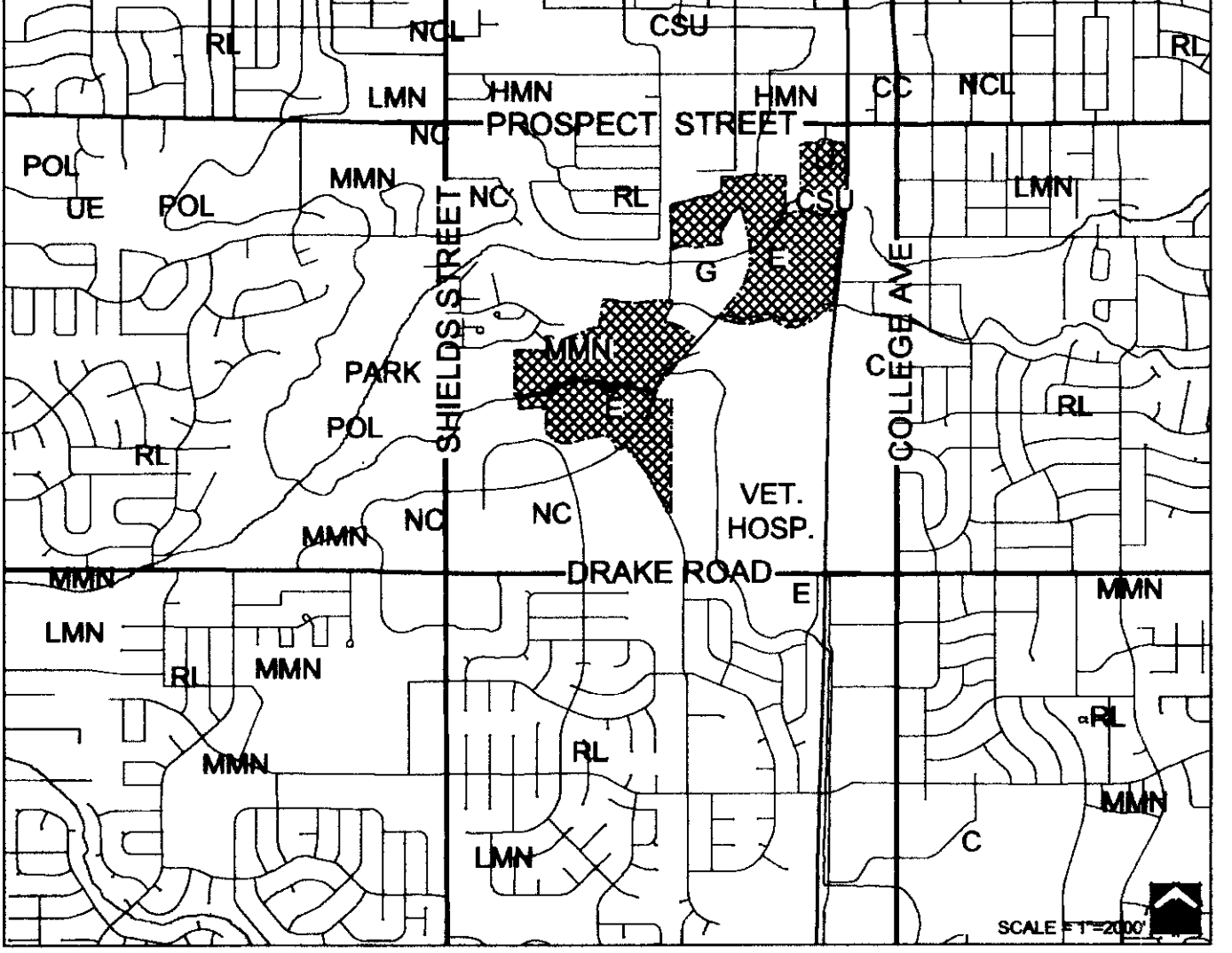
- THE FOLLOWING NOTES APPLY TO THOSE ODP PARCELS WITHIN THE FLOODWAY:
 - ANY PARKING PROPOSED FOR AREAS IN THE FLOODWAY MUST BE CERTIFIED TO CAUSE NO-RISE IN THE BASE FLOOD ELEVATION AND OBTAIN A FLOOD PLAIN USE PERMIT.
 - TEMPORARY OR PERMANENT STORAGE OF MATERIALS IS NOT ALLOWED IN THE FLOODWAY. THIS INCLUDES CONSTRUCTION MATERIALS, FLEET VEHICLES, STORAGE RELATED TO A BUSINESS, ETC.
 - ANY ITEMS SUCH AS PICNIC TABLES, BLEACHERS, ETC. MUST BE ANCHORED SO AS NOT TO BE MOVED DURING A FLOOD AND CERTIFIED TO CAUSE NO-RISE ON THE BASE FLOOD ELEVATION.
 - ANY CHANGE TO THE FEMA FLOODWAY WILL REQUIRE A CONDITIONAL LETTER OF MAP REVISION (CLOMR) AND A LETTER OF MAP REVISION (LOMR).
 - ALL DEVELOPMENT WITHIN THE FEMA DESIGNATED FLOODPLAIN OR FLOODWAY MUST COMPLY WITH ALL FLOODPLAIN REGULATIONS IN CHAPTER 10 OF CITY CODE.
- ALL DEVELOPMENT MUST COMPLY WITH THE APPLICABLE STANDARDS IN ARTICLE 4 OF THE LAND USE CODE. ALLOWED LAND USES IN EACH PARCEL ARE PER THE E ZONE DISTRICT AND THE MMN ZONE DISTRICT AS APPLICABLE.
- THE LAND USE BREAKDOWN FOR LAND IN THE E ZONE WITHIN THIS OVERALL DEVELOPMENT PLAN SHALL BE 75% PRIMARY AND 25% SECONDARY AS ESTABLISHED IN THE LAND USE CODE; HOWEVER, LAND USES PROPOSED WITHIN THE SPRING CREEK 100-YEAR FLOODPLAIN SHALL NOT BE CONSIDERED SECONDARY LAND USES. THE LAND USE BREAKDOWN SHALL BE AS FOLLOWS UNLESS A MODIFICATION IS REQUESTED:

PRIMARY LAND USES (E ZONE)	75% OR APPROXIMATELY 72.4 ACRES
SECONDARY LAND USES (E ZONE)	25% OR APPROXIMATELY 24.1 ACRES
TOTAL LAND AREA (E ZONE)	100% OR APPROXIMATELY 96.5 ACRES
- THE CSURF CENTRE FOR ADVANCED TECHNOLOGY OVERALL DEVELOPMENT PLAN IS PLANNED TO BE MIXED USE DEVELOPMENT, THAT MAY INCLUDE STUDENT HOUSING, OFFICES, PARKS, OPEN SPACE AND TRAILS. THE LAND USE DESIGNATIONS DEPICTED ON THIS PLAN ARE BASED UPON THE BEST ESTIMATE OF THE DEVELOPMENT AT THIS TIME. AS CHANGES OCCUR IN THE REQUIREMENTS OF THE OVERALL DEVELOPMENT, IT MAY BE NECESSARY TO MODIFY THE OVERALL DEVELOPMENT PLAN.
- MAXIMUM FLOOR AREA RATIO (BUILDING SQUARE FOOTAGE DIVIDED BY LAND AREA SQUARE FOOTAGE) FOR ALL PARCELS NOT TO EXCEED 0.37.
- COMMON OPEN SPACE AREAS AND STREETSAPES WILL BE MAINTAINED BY THE OWNER/DEVELOPER OR A HOMEOWNERS' ASSOCIATION (HOA) UNLESS OTHERWISE ACCEPTED BY THE CITY OF FORT COLLINS FOR MAINTENANCE. HOMEOWNERS' ASSOCIATION IS RESPONSIBLE FOR SNOW REMOVAL ON THE SIDEWALKS AND ALL BICYCLE/PEDESTRIAN TRAILS. CITY WILL NOT TAKE ON MAINTENANCE OF STREETSAPES OR SIDEWALKS PER CITY CODE. THE DEVELOPER/OWNER OR HOA WILL MAINTAIN ALL STREETSAPES AND SIDEWALKS.
- ALL PUBLIC STREETS WILL BE DESIGNED TO MEET OR EXCEED CITY STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR A PROJECT DEVELOPMENT PLAN PER THE CITY LAND USE CODE AND THE LARIMER COUNTY URBAN AREA STREET STANDARDS.
- THE PURPOSE OF THE OVERALL DEVELOPMENT PLAN IS TO ESTABLISH GENERAL PLANNING AND DEVELOPMENT CONTROL PARAMETERS FOR PROJECTS THAT WILL BE DEVELOPED IN PHASES WITH MULTIPLE SUBMITTALS WHILE ALLOWING SUFFICIENT FLEXIBILITY TO PERMIT DETAILED PLANNING IN SUBSEQUENT SUBMITTALS. APPROVAL OF AN OVERALL DEVELOPMENT PLAN DOES NOT ESTABLISH ANY VESTED RIGHT TO DEVELOP PROPERTY IN ACCORDANCE WITH THE PLAN.
- FIRE HYDRANTS WILL BE PROVIDED AS REQUIRED BY THE POUDERE FIRE AUTHORITY STANDARDS.
- RESIDENTIAL DEVELOPMENT IN THE MMN ZONE DISTRICT SHALL HAVE AN OVERALL MINIMUM AVERAGE DENSITY OF TWELVE(12) DWELLING UNITS PER NET ACRE OF RESIDENTIAL LAND OR SEVEN (7) DWELLING UNITS PER NET ACRE IF THE SUBJECT DEVELOPMENT PLAN IS TWENTY (20) ACRES OR LESS IN SIZE.
- BOUNDARY CONNECTIONS SHALL BE IN COMPLIANCE WITH APPLICABLE LAND USE CODE AND LARIMER COUNTY URBAN AREA STREET STANDARDS IN PLACE AT THE TIME OF DEVELOPMENT APPLICATION SUBMITTAL UNLESS MODIFICATIONS AND/OR ENGINEERING VARIANCES ARE APPROVED.
- ALL DEVELOPMENT MUST COMPLY WITH APPLICABLE STANDARDS CONTAINED IN THE LAND USE CODE ARTICLE 3, CITY CODE CHAPTER 10, FEDERAL REGULATIONS 44 CFR, AT THE TIME OF APPLICATION FOR A PROJECT DEVELOPMENT PLAN.
- DEVELOPMENT WITHIN THE AREA OF THE MMN ZONE DISTRICT SHALL BE CONSISTENT WITH THE BLOCK SIZE REQUIREMENTS OF SECTION 4.8 OF THE LAND USE CODE UNLESS A MODIFICATION OR VARIANCE IS GRANTED.
- GENERAL BUFFER ZONES SHOWN ON THIS ODP MAY BE REDUCED OR ENLARGED BY THE DECISION MAKER DURING THE PDP PROCESS.
- THIS OVERALL DEVELOPMENT PLAN SHOWS THE GENERAL LOCATION AND APPROXIMATE SIZE OF ALL NATURAL AREAS, HABITATS AND FEATURES WITHIN ITS BOUNDARIES AND THE PROPOSED ROUGH ESTIMATE OF THE NATURAL AREA BUFFER ZONES AS REQUIRED BY LAND USE CODE SEC. 3.4.1(E). DETAILED MAPPING OF A SITE'S NATURAL AREAS, HABITATS AND FEATURES WILL BE PROVIDED AT THE TIME INDIVIDUAL PROJECT DEVELOPMENT PLANS (PDP) ARE SUBMITTED FOR REVIEW. ALL DEVELOPMENT WITHIN THIS OVERALL DEVELOPMENT PLAN SHALL CONFORM TO APPLICABLE STANDARDS CONTAINED IN DIVISION 3.4, ENVIRONMENTAL, NATURAL AREA, RECREATIONAL AND CULTURAL RESOURCE, OF THE LAND USE CODE.
- THE LARIMER CANAL NO. 2 IS PROPOSED TO BE REALIGNED AS AN INDEPENDENT PROJECT AND NOT AS PART OF THIS ODP.

NATURAL FEATURES GENERAL BUFFER ZONES

- SPRING CREEK: 100' AVERAGE EACH SIDE
- LARIMER NO. 2 CANAL: 50' AVERAGE EACH SIDE
- NEW MERCER DITCH: 50' AVERAGE EACH SIDE

VICINITY MAP



PLANNING & ZONING CERTIFICATE

APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF FORT COLLINS, COLORADO

ON THIS 15 DAY OF February, 2012

Jan M. Kadiw
SECRETARY OF THE PLANNING AND ZONING BOARD

OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF THE REAL PROPERTY DESCRIBED ON THIS SITE PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID SITE PLAN.

OWNER:
COLORADO STATE UNIVERSITY RESEARCH FOUNDATION, A COLORADO NON-PROFIT CORPORATION

BY: *Michael Henry*
DATE: 2-7-2012

STATE OF COLORADO)
COUNTY OF LARIMER) SS.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 7 DAY OF Feb. 2012, BY *Kathleen Henry, President CEO* OF COLORADO STATE UNIVERSITY RESEARCH FOUNDATION, A COLORADO NON-PROFIT CORPORATION.

Julie M. Brodall
NOTARY PUBLIC

MY COMMISSION EXPIRES: 2-20-2013

AMENDED CSURF CENTRE FOR ADVANCED TECHNOLOGY

OVERALL DEVELOPMENT PLAN

FORT COLLINS, COLORADO

101 West Mountain Avenue, Suite 200
Fort Collins, CO 80521
Tel: 970.221.1822 Fax: 970.224.1828
www.ripleyco.com

OVERALL DEVELOPMENT PLAN

DATE: 06/18/02

JOB NO.: R00-041

DRAWN: DH

CHECKED: LR

REVISED:

- 11/27/02
- 02/10/03
- 07/13/10
- 09/23/10
- 12/28/10
- 03/30/2011
- 06/01/2011
- 01/20/2012

THIS IS A LAND USE PLANNING DOCUMENT, NOT A CONSTRUCTION DOCUMENT. REFER TO CIVIL ENGINEERING PLANS.

1 OF 1

LEGEND

- FEMA-REGULATORY SPRING CREEK FLOODWAY
- FEMA-REGULATORY 100-YEAR SPRING CREEK FLOODPLAIN
- DELINEATED WETLAND
- NATURAL HABITATS BUFFER ZONE (GENERAL AREA)
- ZONING DISTRICT BOUNDARY
- OVERALL DEVELOPMENT PLAN BOUNDARY

LAND USE BREAKDOWN

PARCEL	ZONE DISTRICT	APPROXIMATE GROSS AREA
A	E	8.9 AC +/-
B	E	17.5 AC +/-
C	MMN	26.2 AC +/-
D	E	12.9 AC +/-
E	E	42.8 AC +/-
F	E	4.9 AC +/-
TOTAL:		116.7 AC +/-