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Drawing Name: **OVERALL DEVELOPMENT PLAN**
CAD File: 1894 ODP 01-29-04
Designed: JSD STAFF
Checked: K.B.
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Project No. 1894.3

OVERALL DEVELOPMENT PLAN				
LAND USE DATA				
PARCEL SIZE	152.39 TOTAL ACRES; 147.41 GROSS; 114.89 NET	GROSS DENSITY: 4.11 - 5.68	DU/AC	
EXISTING ZONING	LMN - LOW DENSITY MIXED USE NEIGHBORHOOD DISTRICT	NET DENSITY: 5.28 - 7.29	DU/AC	
PARCEL	ACRES	PROPOSED LAND USE	DENSITY	D.U.'s or G.S.F.
A	10.14	MULTI-FAMILY	9-11 DU/AC	91-111
B	4.98	COMMERCIAL, MINI-STORAGE (1)	N/A	+/-87,000 SF
C	6.45	MULTI-FAMILY	9-11 DU/AC	58-71
D	1.10	NEIGHBORHOOD CENTER	N/A	+/- 6,000 SF
E	0.74	NEIGHBORHOOD CENTER	N/A	+/- 4,800 SF
F	50.87	SINGLE FAMILY, MULTI-FAMILY	5-7 DU/AC	253-355
G	0.83	PARK (2)	N/A	N/A
H	2.19	NEIGHBORHOOD CENTER	N/A	+/-11,500 SF
I	3.05	MULTI-FAMILY	9-12 DU/AC	27-36
J	1.14	PARK (2)	N/A	N/A
K	2.04	MULTI-FAMILY	9-11 DU/AC	18-22
L	10.57	SINGLE FAMILY, MULTI-FAMILY	7-9 DU/AC	74-95
M	2.71	SINGLE FAMILY	3-4 DU/AC	8-11
N	8.06	PUBLIC PARK (2)	N/A	N/A
O	18.43	WETLAND/OPEN SPACE/DETENTION (2)	N/A	N/A
P	19.53	SINGLE FAMILY	4-7 DU/AC	78-138
4.06 ROW ON ARTERIAL STREETS (2)				
5.50 ROW ON COLLECTOR STREETS				
152.39 TOTAL				607 - 837 109,300 SF

NOTES: (1) REMOVED FROM GROSS AND NET ACREAGE CALCULATION
(2) REMOVED FROM NET ACREAGE CALCULATION

LEGAL DESCRIPTION

A TRACT OF LAND LOCATED IN THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 7 NORTH, RANGE 68 WEST OF THE 6TH P.M., LARIMER COUNTY, COLORADO.

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 8, T7N, R68W, SAID POINT BEING MARKED BY A NO. 6 REBAR AND 2-1/2" ALUMINUM CAP STAMPED LS 28285; AND CONSIDERING THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8 TO BE 500'17"10"W, (EAST QUARTER CORNER OF SAID SECTION 8 BEING MARKED BY A NO. 6 REBAR AND 2" ALUMINUM CAP STAMPED LS 7839), WITH ALL OTHER BEARINGS RELATIVE THERETO;

THENCE ALONG THE EAST LINE OF SAID NORTHEAST QUARTER OF SECTION 8, 500'17"10"W, 80.01 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE 500'17"10"W, 2567.83 FEET (PREVIOUSLY DESCRIBED AS 500'17"05"W, 2567.51 FEET) TO THE EAST QUARTER CORNER OF SAID SECTION 8;

THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8, N88°50'31"W, 2285.48 FEET (PREVIOUSLY DESCRIBED AS N88°50'34"W, 2285.48 FEET); THENCE N00°42'47"E, 56.00 FEET (PREVIOUSLY DESCRIBED AS N00°42'47"E, 56.00 FEET); THENCE N88°50'31"W, 344.01 FEET (PREVIOUSLY DESCRIBED AS N88°50'34"W, 344.01 FEET) TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8; THENCE ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8, N00°42'47"E, 2510.01 FEET (PREVIOUSLY DESCRIBED AS N00°42'47"E, 2510.04 FEET) TO A POINT 80.00 FEET SOUTH OF THE NORTH QUARTER CORNER OF SAID SECTION 8; THENCE ALONG A LINE PARALLEL WITH AND 80 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8, S88°52'37"E, 2610.38 FEET (PREVIOUSLY DESCRIBED AS S88°52'13"E, 2610.28 FEET) TO THE POINT OF BEGINNING.

ALSO COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 8; THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8, S88°50'31"E, 934.40 FEET (PREVIOUSLY DESCRIBED AS S88°50'34"E, 934.40 FEET) TO THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID SOUTH LINE S88°50'31"E, 538.83 FEET (PREVIOUSLY DESCRIBED AS S88°50'31"E, 538.83 FEET); THENCE S70°00'03"W, 155.15 FEET (PREVIOUSLY DESCRIBED AS S70°00'00"W, 155.15 FEET); THENCE N88°50'31"E, 214.07 FEET (PREVIOUSLY DESCRIBED AS N88°50'34"E, 214.07 FEET); THENCE N71°33'57"W, 188.57 FEET (PREVIOUSLY DESCRIBED AS N71°34'00"W, 188.57) TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING TWO TRACTS OF LAND:

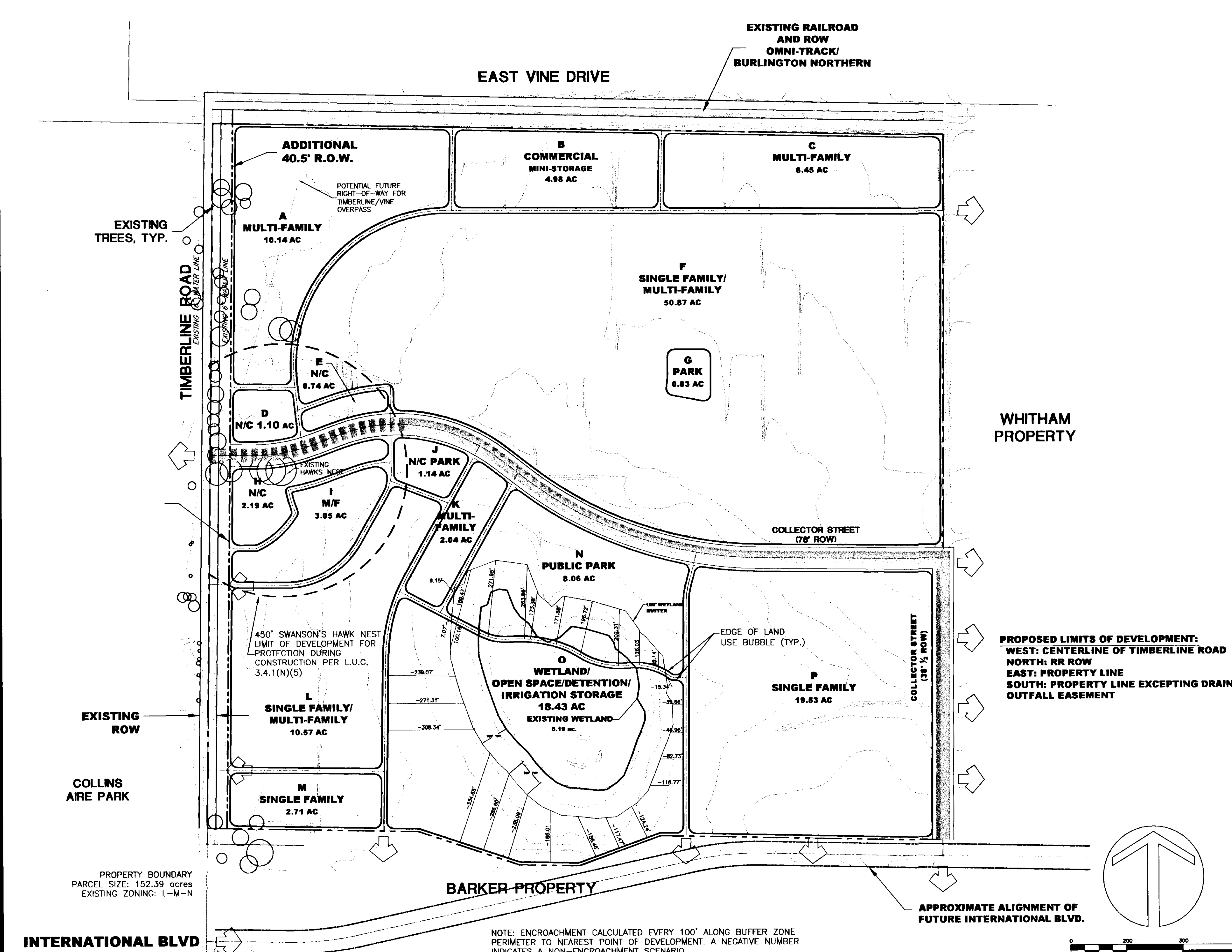
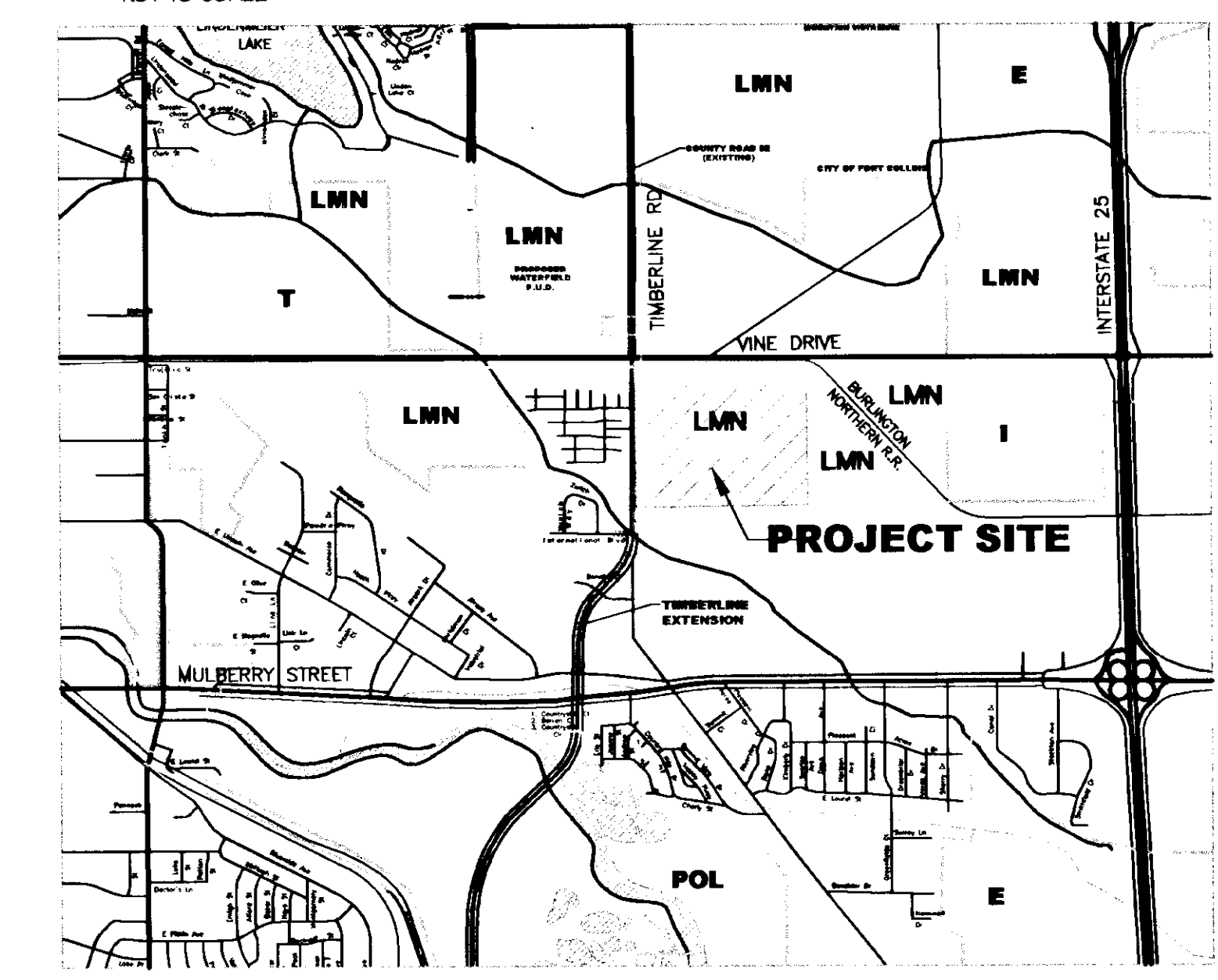
TRACT 1:
COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 8; THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8, S88°50'31"E, 344.06 FEET (PREVIOUSLY DESCRIBED AS S88°50'34"E, 344.06 FEET) TO THE POINT OF BEGINNING; THENCE N00°42'50"E, 56.00 FEET (PREVIOUSLY DESCRIBED AS N00°42'47"E, 56.00 FEET); THENCE S88°50'31"E, 410.71 FEET (PREVIOUSLY DESCRIBED AS S88°50'34"E, 410.71 FEET); THENCE S71°33'57"W, 188.57 FEET (PREVIOUSLY DESCRIBED AS S71°34'00"W, 188.57) TO A POINT ON THE SOUTH LINE OF SAID NORTHEAST QUARTER OF SECTION 8;

TRACT 2:
BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 8; THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8, N88°50'31"W, 1156.31 FEET (PREVIOUSLY DESCRIBED AS N88°50'34"W, 1156.31 FEET); THENCE N70°00'03"E, 155.15 FEET (PREVIOUSLY DESCRIBED AS N70°00'00"E, 155.15 FEET); THENCE S88°50'31"E, 1010.76 FEET (PREVIOUSLY DESCRIBED AS S88°50'34"E, 1010.76 FEET) TO A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 8;

THENCE ALONG SAID EAST LINE, S00°17'05"W, 56.01 FEET (PREVIOUSLY DESCRIBED AS S00°17'05"W, 56.01 FEET) TO THE POINT OF BEGINNING.

TOTAL AREA OF SAID DESCRIBED TRACT IS 152.39 ACRES MORE OR LESS AND IS SUBJECT TO ANY EASEMENTS AND RIGHTS-OF-WAY OF RECORD OR THAT NOW EXIST ON THE GROUND.

VICINITY MAP
NOT TO SCALE



PROPOSED LIMITS OF DEVELOPMENT:
WEST: CENTERLINE OF TIMBERLINE ROAD
NORTH: RR ROW
EAST: PROPERTY LINE
SOUTH: PROPERTY LINE EXCEPTING DRAINAGE OUTFALL EASEMENT

APPROXIMATE ALIGNMENT OF FUTURE INTERNATIONAL BLVD.

NOTE: ENCROACHMENT CALCULATED EVERY 100' ALONG BUFFER ZONE PERIMETER TO NEAREST POINT OF DEVELOPMENT. A NEGATIVE NUMBER INDICATES A NON-ENCROACHMENT SCENARIO.

AVERAGE BUFFER ENCROACHMENT = -29.77'

OWNER'S CERTIFICATION

THE UNDERSIGNED DOES/DO HEREBY CERTIFY THAT I/WE ARE THE LAWFUL OWNERS OF REAL PROPERTY DESCRIBED ON THIS OVERALL DEVELOPMENT PLAN AND DO HEREBY CERTIFY THAT I/WE ACCEPT THE CONDITIONS AND RESTRICTIONS SET FORTH ON SAID OVERALL DEVELOPMENT PLAN.

EAST RIDGE OF FORT COLLINS, LLC.
SIGNED BY: *[Signature]* DATE: 8/17/05

NOTARY PUBLIC,
STATE OF COLORADO, LARIMER COUNTY.
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ 2005.

BY _____
WITNESS MY HAND AND OFFICIAL SEAL _____
MY COMMISSION EXPIRES: _____

PLANNING & ZONING APPROVAL

APPROVED BY THE PLANNING AND ZONING BOARD OF THE CITY OF FORT COLLINS, COLORADO,
THIS 26th DAY OF August 2005.
[Signature]
SECRETARY OF THE PLANNING AND ZONING BOARD

PROJECT NOTES

- PROJECT NOTES:
- THE ENCIRCLED AREA DEPICTED ABOVE AROUND THE EXISTING SWANSON'S HAWK NEST DEFINES A TEMPORARY LIMIT OF DEVELOPMENT APPLICABLE FROM FEBRUARY 15 THROUGH JULY 15 OF THE FIRST YEAR OF DEVELOPMENT CONSTRUCTION PER L.U.C. 3.4.1(N)(5). THE NEST AND THE TREE CONTAINING THE NEST SHALL ALSO BE PROTECTED PER L.U.C. 3.4.1(N)(5).
 - THE OPEN SPACE/PARK/WETLAND/DETENTION AREA WILL BE DESIGNED AS A MULTI-FUNCTION AREA TO MEET ALL THE VARIOUS OBJECTIVES AND REQUIREMENTS OF SUCH FUNCTIONS. THE PRECISE DISTRIBUTION OF THE FUNCTIONS WILL BE DETERMINED THROUGH THE PROJECT DESIGN PROCESS.
 - ADEQUATE PUBLIC FACILITIES (APP) AT THE INTERSECTION OF LEMAY AVENUE AND VINE DRIVE IS ADDRESSED IN THE EAST RIDGE TRANSPORTATION IMPACT STUDY ADDENDUM DATED JULY 2, 2003. THIS ADDENDUM CONCLUDED THAT 4100 DAILY TRIP ENDS CAN BE GENERATED WITHOUT FAILING THE APP CRITERION. THE FIRST FILING OF THE EAST RIDGE PROJECT WILL BE DESIGNED SUCH THAT THIS APP CRITERION WILL BE MET.
 - THE POTENTIAL FUTURE ROW ASSOCIATED WITH A GRADE-SEPARATED CROSSING OF TIMBERLINE RD OVER THE RR TRACKS AND VINE DR. IS SHOWN ON THIS ODP. THE ROW ASSOCIATED WITH THE CROSSING WILL BE ACQUIRED BY THE CITY AT AN APPROPRIATE TIME.
 - A DUAL WATER SYSTEM MAY BE INSTALLED AT THE PROJECT IF FEASIBLE, BUT IS NOT REQUIRED.
 - THE PROJECT DEVELOPER HAS ENTERED INTO AN AGREEMENT WITH E.H. BARKER AND PATRICIA BARKER TO CONSTRUCT A BUFFER CONSISTING OF BERM, LANDSCAPING AND FENCE JUST NORTH OF THE SOUTH PROPERTY BOUNDARY, PER AGREEMENT DATED JANUARY 25, 2001.
 - DEVELOPER WILL ESCROW FOR THE REMOVAL OF THE BERM AND CONSTRUCTION OF REQUIRED LOCAL ROADS TO CONNECT TO INTERNATIONAL BLVD WHEN IT IS COMPLETED. DEVELOPER WILL ESCROW FOR THE REMOVAL OF THE FENCE ON TOP OF THE BUFFERING BERM WHEN THE LAND USE TO THE SOUTH IS CHANGED FROM ITS CURRENT USE TO A COMPATIBLE REDEVELOPED USE. DEVELOPER WILL ESCROW FOR ITS SHARE OF THE LOCAL ROAD PORTION OF INTERNATIONAL BLVD FROM THE MID-POINT OF THE PROPERTY EASTWARD.