

# REVISION COMMENT SHEET

DATE: October 31, 1997 DEPT: **Engineering**

PROJECT: #3-94I Willow Springs North P.U.D., (LDGS)  
Final Review  
PLANNER: Ted Shepard  
ENGINEER: Michael Coley

**Sheet 4:**

- ♦ A sight distance easement is needed at the NW corner of Rosemary Ct. and Wilmington Dr.
- ♦ According to standard 1.02.03.04, a minimum tangent length of 100' should be provided along Wilmington Dr. at the intersection approaches. If the above mentioned sight distance easement is dedicated and a letter requesting a variance to this standard is submitted to the City, the proposed layout should be acceptable.

**Sheet 8:**

- ♦ Show crossspan across Wilmington Dr. as 12', as on other sheets.

**Sheet 17:**

- ♦ The dimensions of the left turn taper and turn lane should be reflected on the actual striping details.

**\*\* See redline plans for additional comments \*\***

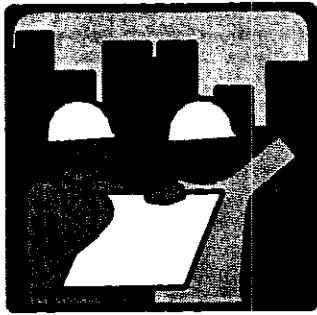
Date: 10/31/97

Signature: *M. Coley*

Please send copies of marked revisions

Plat  Site  
 Utility  Landscape





# REVISION COMMENT SHEET

DATE: October 31, 1997 DEPT: **Engineering**

PROJECT: #3-94I Willow Springs North P.U.D., (LDGS)

Final Review

PLANNER: Ted Shepard

ENGINEER: Michael Coley

**Sheet 4:**

- ♦ A sight distance easement is needed at the NW corner of Rosemary Ct. and Wilmington Dr. *DONE*
- ♦ According to standard 1.02.03.04, a minimum tangent length of 100' should be provided along Wilmington Dr. at the intersection approaches. If the above mentioned sight distance easement is dedicated and a letter requesting a variance to this standard is submitted to the City, the proposed layout should be acceptable. *SEE ATTACHED LETTER*

**Sheet 8:**

- ♦ Show crossspan across Wilmington Dr. as 12', as on other sheets. *DONE*

**Sheet 17:**

- ♦ The dimensions of the left turn taper and turn lane should be reflected on the actual striping details. *THAT IS THE SIGNING & STRIPING PLAN*

**\*\* See redline plans for additional comments \*\***

Date: 10/31/97

Signature: *Michael Coley*

*X Shadower 11/14/97*

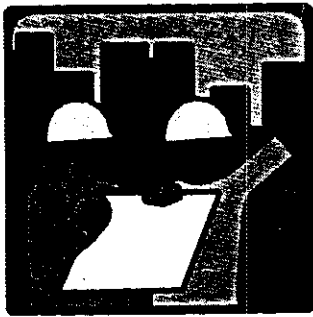
Please send copies of marked revisions

Plat  Site  
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TST's Response

Shed 1/16  
10/1/97



# REVISION COMMENT SHEET

DATE: August 14, 1997 DEPT: **Engineering**

PROJECT: #3-94I Willow Springs North P.U.D., (LDGS)  
Final Review

PLANNER: Ted Shepard

ENGINEER: Michael Coley

All comments must be recieved no later than the staff review meeting:  
Wednesday, September 3, 1997

**Sheet 1:**

- ◆ Several modifications to the General Notes are needed. *DONE*

**Sheet 2:**

- ◆ Ownership of the tracts and open spaces must be specified in the notes. *DONE*

**Sheet 3:**

- ◆ Check lot line distance on the south side of lot #25. *DONE*
- ◆ Extend 9' utility easement around entire perimeter of Rosemary Ct. *Open Space is checked and utility easement*

**Sheet 5:**

- ◆ Flow arrow at Rosemary Ct. and Wilmington Dr. is pointing in the wrong direction. *FIXED*

**Sheet 6:**

- ◆ Show adequate detail of the entrance drive. *DONE*

**Sheet 7:**

- ◆ Encase sanitary service lines, not the water main. *DONE*
- ◆ Show or note all encased utility lines. *DONE*

**Sheet 8:**

- ◆ Show 20' drainage easement between lots 17-18 and lots 31-32. *DONE*
- ◆ Scale is incorrect. *DONE*

**Sheet 9:**

- ◆ Stationing is inconsistant between plan and profile for existing MH. *DONE*

Comments continue on the next sheet ↗

**Sheet 10:**

- ♦ Pipe type is inconsistant between plan and profile. *DONE*
- ♦ The vertical clearance between line SS-2A and the water main is less than 18", *DONE* therefore you must encase the sanitary sewer line.
- ♦ Encase sanitary service lines, not the water main. *DONE*

**Sheet 12:**

- ♦ Rosemary Ct. is incorrectly named. *DONE*
- ♦ Match FES size/type with pipe size/type. *DONE*

**Sheet 13:**

- ♦ Match FES type with pipe type. *DONE*
- ♦ Schedule 40 PVC should not be used for storm drainage. *DONE*

**Sheet 15:**

- ♦ Show FL elevations of PT, PRC, etc. in plan view. *DONE*

**Sheet 16:**

- ♦ Note that concrete shall extend to ROW at private drive entrance. *DONE*
- ♦ Incorrect reference notes. *DONE*
- ♦ Show FL elevations of PT, PRC, etc. in plan view. *DONE*

**Sheet 17:**

- ♦ Revise left-turn transition and storage lengths as shown. *DONE*

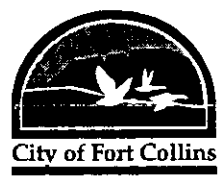
**Final Site Plan:**

- ♦ ROW at Timberline and Battlecreek is not consistant with utility plans. *PLAT FES?*
- ♦ Show drainage easement at Rosemary Dr. *DONE*

**\*\* See redline plans for additional comments \*\***

Date: 9/3/97 Signature: *Neil J. G.*

Please send copies of marked revisions  Plat  Site  Utility  Landscape





City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

**DATE: 27 June, 1997**      **DEPT: Engineering**

**PROJECT: Willow Springs North P.U.D.**

**PLANNER: Ted Shepard**

**ENGINEER: Michael Coley**

*All comments must be received by: 7/23/97*



**No Problems**

**Problems or Concerns (see below or attached)**

**Sheet 1:** Engineer's seal on all sheets; Engineer's name, address, and phone on title sheet; add to abbreviations list.

**Sheet 2:** Need note on ownership/maintenance of open spaces A & B; date of preparation.; need to show zoning districts and major public facilities on vicinity map.

**Sheet 3:** Check dimensions on North and West property lines.

**Sheet 4:** Add note "concrete shall extend to R.O.W." at private drive.

**Sheet 5:** Separate street/parking plan from grading plan.

**Sheet 6:** Separate street/parking plan from grading plan; parking around perimeter of traffic circle is not acceptable; need to show private drive in better detail.

**Sheet 7:** Incorrect sheet reference; unnecessary 16" GTV; need to show complete horizontal street alignment, curve radii, street, sidewalk, and R.O.W. dimensions on overall utility plan; impossible to deflect one length of water line to obtain necessary clearance.

**Sheet 8:** Incorrect sheet reference; need to show size and material of sanitary sewer lines.

*Comments cont'd →*

Date: 6/27/97

Signature: *MJC*

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- LANDSCAPE

**Sheet 15:** Check marked grades; must show profiles for all detached sidewalks; show easements on all street plans.

**Sheet 16:** Check marked grades; maximum grade break is exceeded on South end of right flowline of Wilmington Dr.; must show profiles for all detached walks; show mid-block crossspan detail; mid-block crossspan must have 12' minimum width.

**Sheet 17:** Provide striping plan; improve/enlarge Timberline profiles; must have straight line grade from centerline to gutter lip; an additional 12' of R.O.W. is needed along Timberline for right turn lane.

**Sheet 19:** Need to show details for each private drive entrance; crossspan detail is incorrect.

**Sheet 21:** PVC sidewalk culvert as shown in detail is not permitted in public R.O.W.



City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: June 24, 1997 DEPT: Mapping

PROJECT: #3-94I Willow Springs North P.U.D. -  
Final (LDGS)  
PLANNER: Ted Shepard

All comments must be received no later than the staff review meeting:  
Wednesday, July 23, 1997

*O.K. IRH*

*1. Do we need a UTILITY EASEMENT ACROSS OPEN SPACES  
A, ALONG THE U.P. RAILROAD, WILMINGTON DR. &  
BENT WILLOW CT. OK SEE NOTE*

*1. THE SECOND BEARING CALL HAS A WRONG DIRECTION (N)  
2. PLEASE BE AWARE OF THE CITY REQUIREMENT  
REGARDING MONUMENT RECORDS.*

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

*LEGAC ✓  
CLOSS ✓*

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Plat       Site       Drainage Report       Other \_\_\_\_\_  
 Utility       Redline Utility       Landscape



City of Fort Collins



City of Fort Collins

# PROJECT COMMENT SHEET

## Current Planning

DATE: January 21, 1997 DEPT: Eng

PROJECT: #3-94G Willow Springs North PUD  
Preliminary

PLANNER: Ted Shepard

All comments must be received by: Monday, February 10, 1997

WILLOW SPRINGS NORTH PUD - PRELIMINARY  
SITE PLAN

FEBRUARY 12, 1997

1. A RIGHT TURN LANE NEEDS TO BE PROVIDED ON TIMBERLINE AT BATTLECREEK.
2. THE MEDIAN IN THE ENTRANCE DRIVE OFF OF BATTLECREEK NEEDS TO BE ELIMINATED. THE THROUGH LANES NEED TO LINE UP. MAYBE ABLE TO USE A MEDIAN BUT CANT START IT RIGHT AWAY.
3. IS LOT 30 BUILDABLE? ONCE THE FRONT AND REAR SET BACKS ARE PLACED ON THE LOT IS THERE ENOUGH LEFT TO PROVIDE A BUILDABLE LOT?

### PLAT

4. A 9 FOOT UTILITY EASEMENT IS NEEDED ADJACENT TO WILMINGTON DRIVE, WILLOW LEAF CT, AND BENT WILLOW CT.
5. AN ADDITIONAL 12 FEET OF ROW IS NEEDED ALONG TIMBERLINE FOR THE RIGHT TURN LANE.
6. BUILDING ENVELOPES 2, 12, 13 AND 14 ARE BEING SHOWN OVER THE 40 FOOT DRAINAGE, UTILITY AND SLOPE EASEMENT. A BUILDING CAN NOT BE PLACED IN AN EASEMENT AND THE CITY WILL NOT ALLOW THE SLOPE EASEMENT TO BE VACATED UNLESS IT IS NO LONGER NEEDED. I CAN NOT TELL WHETHER OR NOT IT IS NEEDED FROM THESE PLANS.

### UTILITY PLANS

7. THE MEDIAN IN THE ENTRANCE DRIVE OFF OF BATTLECREEK NEEDS TO BE ELIMINATED. THE THROUGH LANES NEED TO LINE UP. MAYBE ABLE TO USE A MEDIAN BUT CANT START IT RIGHT AWAY.
8. A RIGHT TURN LANE NEEDS TO BE PROVIDED ON TIMBERLINE AT BATTLECREEK.

Date: 2/13/97 Signature S. Wankhoff

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- LANDSCAPE
- UTILITY





City of Fort Collins

# PROJECT COMMENT SHEET

## Current Planning

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DATE: January 21, 1997 DEPT: Eng Pvmnt

PROJECT: #3-94G Willow Springs North PUD  
Preliminary

PLANNER: Ted Shepard

All comments must be received by: Monday, February 10, 1997

*No Comment*

Date: 2/10/97

Signature

*Rick [Signature]*

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