

REVISION COMMENT SHEET

DATE: September 21, 2000 TO: Tech Svs

PROJECT: #12-00 Rams Park – PDP - Type II- LUC

All comments must be received by **Ron Fuchs in Current Planning** no later than the staff review meeting:

Wednesday, October 11, 2000

No Comment

Problems or Concerns (see below or attached)

MARK MS

****PLEASE IDENTIFY YOUR REDLINES FOR FUTURE REFERENCE****

1. PLAT & LEGAL CLOSE. *Ⓢ*
2. THE NAME OF THE PLAT IS NOT IN THE DEDICATION STATEMENT.
3. SEE DAVE'S COMMENT ON SHEET #1 ABOUT THE TRACT A NOTE #6.

Date: _____ Signature: _____

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape



City of Fort Collins



City of Fort Collins
Current Planning

PROJECT COMMENT SHEET

DATE: July 21, 2000 **DEPT:** **ENGINEERING**
PROJECT: #12-00 Rams Park – Type II – PDP (LUC)
PLANNER: Ron Fuchs
ENGINEER: Mark McCallum
All comments must be received by:

Wednesday, August 16, 2000

General Comments

- ◆ See redlined comments on all sheets of the utility, plat, site, and landscape plans. More specific comments will be mentioned below.
- ◆ All Plans and Supplements Included:
 1. Utility Plan
 2. Site Plan
 3. Landscape Plan
 4. Plat
 5. Attorney Certificate for the Plat

Utility Plan Comments

Cover Sheet; Sheet 1 of 12:

- ◆ Minor revisions to the "General Notes".

Overall Utility Plan; Sheet 3 of 12:

- ◆ Please show the access to the Jefferson Commons PUD (Rams Park).
- ◆ The eastern access should be a right-in only. Therefore, the driveway should be angled to accommodate a right-in only. In addition, the parking stalls should be angled for the entire length of the eastern drive aisle.

Date: 8/16/00

Signature: [Signature]

PLEASE SEND COPIES PLAT
 OF MARKED REVISIONS: SITE
 UTILITY
 LANDSCAPE

NO COMMENTS – SUBMIT MYLARS

- ◆ The driveway radii should be a maximum of 15 feet.
- ◆ Please show the widths for all sidewalks.
- ◆ All water and sewer lines should be in utility easements

Grading and Erosion Control Plan and Drainage Plan; Sheet 4 & 5 of 12:

- ◆ Provide cross sections or additional elevations to show how the internal walk/ drive intersection will function. If necessary, provide access ramps.
- ◆ There are various offsite areas that will need construction, drainage, and grading easements. Letters of Intent for all easements shall be submitted prior to public hearing.
- ◆ Please provide all retaining wall information. The retaining wall adjacent to the right-of-way shall be set back 2 feet from the sidewalk.

Elizabeth Street Plan & Profile; Sheet 7 of 12:

- ◆ Provide wall information on the cross sections.
- ◆ Provide centerline stationing.
- ◆ The public sidewalk shall be a minimum of 6 feet.

Elizabeth Street Signing & Striping Plan; Sheet 8 of 12:

- ◆ The signing and striping plan should be coordinated with the Engineering Department and the Traffic Operations Department. It appears that the striping should be redone from Taft Hill Road to the western property line of Rams Park. A meeting should be coordinated through me (Mark McCallum).
- ◆ The eastern driveway access should be a controlled right-in only.

Site and Landscape Plan Comments

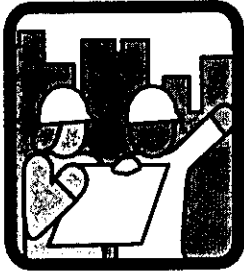
- ◆ Please see redlined comments.

Plat Comments

- ◆ Please address comments from mapping and drafting.
- ◆ The name on the plat should read:
Plat of Rams Park PDP – A portion of which is a replat of a portion of the Replat of Lot 1 of the West Elizabeth PUD and also a portion the Northeast Quarter of Section 16...
- ◆ Provide a vicinity map.
- ◆ Provide all necessary access, drainage and utility easements.
- ◆ This plat should have a lot designation.
- ◆ Provide a 15-foot utility easement along West Elizabeth Street.
- ◆ Correct the dedication and notice of other documents language.
- ◆ See other redlined comments.

Soils Report Comments

- ◆ **A new soils report shall be submitted for this project.** The reason for the new report is that the city requires certain information in the soils report that is not in the old report. In addition, some geological changes may have occurred since the last report. In lieu of providing a full report, one option would be to do an updated or amended report. I suggest that you connect Rick Richter, Pavement Management at 221-6605 to discuss the possibility of an amended report.



REVISION COMMENT SHEET

DATE: July 21, 2000 TO: **Technical Services**

PROJECT: #12-00 Rams Park – Type II (LUC)

All comments must be received by **Troy Jones in Current Planning** no later than the staff review meeting:

Wednesday, August 16, 2000

No Comment

Problems or Concerns (see below or attached)

****PLEASE IDENTIFY YOUR REDLINES FOR FUTURE REFERENCE****

BOUNDARY & LEGAL CLOSE, GC

1. It looks like there is a layer turned on that is point nbs. Does not need to be.
2. THE DEDICATION STATEMENT MUST CONTAIN THE NAME OF THE PLAT.
3. NAME OF PLAT - SEE MARK'S COMMENT.
4. TIE DISTANCE APPEARS TO BE WRONG - PLEASE CHECK.
5. VICINITY MAP
6. PLEASE PROVIDE A LOT DESIGNATION W/F12
7. TRACT A NEEDS F12 - & USE DIFFERENT LINE TYPE TO SEPERATE.

Date: _____ Signature: _____

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Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape





PROJECT COMMENT SHEET

City of Fort Collins
Current Planning

DATE: April 3, 2000

TO: Mapping/Drafting

PROJECT: #12-00 Rams Park – Type II – PDP (LUC)

All comments must be received by **Ron Fuchs** no later than the staff review meeting:

May 3, 2000

Note- Please identify your redlines for future reference

* plot close to legal match point
* PLEASE LABEL THE POINT OF BEGINNING

O.K. JRA.

Signature

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Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape





City of Fort Collins

PROJECT COMMENT SHEET

Current Planning

DATE: April 3, 2000

TO: Mapping/Drafting

PROJECT: #12-00 Rams Park – Type II – PDP (LUC)

All comments must be received by **Ron Fuchs** no later than the staff review meeting:

May 3, 2000

Note- Please identify your redlines for future reference

* point class etc / legal match line +

* PLEASE LABEL THE POINT OF BEGINNING

O.K. JRA.

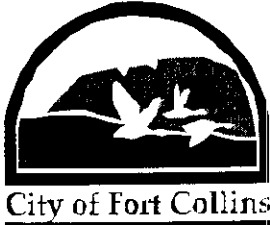
Signature

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Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape



City of Fort Collins



PROJECT COMMENT SHEET

City of Fort Collins
Current Planning

DATE: April 3, 2000

TO: **Street Oversizing**

PROJECT: #12-00 Rams Park – Type II – PDP (LUC)

All comments must be received by **Ron Fuchs** no later than the staff review meeting:

May 3, 2000

Note- Please identify your redlines for future reference

Improvements to Elizabeth St. along frontage of site are required with this development. Street Oversizing will participate in the cost of improvements to Elizabeth as per Sec 24-112. Although planning documents do not specify, I am assuming this is an apartment complex, Street Oversizing fees will be \$948 per Dwelling Unit

Signature

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Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape





City of Fort Collins
Current Planning

PROJECT COMMENT SHEET

DATE: April 3, 2000 **DEPT:** ENGINEERING
PROJECT: #12-00 Rams Park – Type II – PDP (LUC)
PLANNER: Ron Fuchs
ENGINEER: Mark McCallum

All comments must be received by:

Wednesday, May 3, 2000

General Comments

- ◆ See redlined comments on all sheets of the utility, plat, site, and landscape plans. More specific comments will be mentioned below.
- ◆ All Plans and Supplements Included:
 1. Utility Plan
 2. Site Plan
 3. Landscape Plan
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Utility Plan Comments

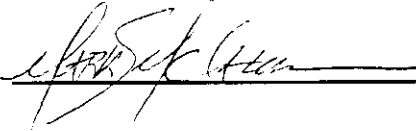
Cover Sheet; Sheet 1 of 10:

- ◆ Minor revisions to the “General Notes”.
- ◆ Include the Plat in the Utility Plan as a separate document after the cover sheet.

Overall Utility Plan; Sheet 3 of 10:

- ◆ Please turn off the existing conditions, except for the existing utilities and roadway improvements on all sheets of the utility plans.
- ◆ Show all internal access ramps on this sheet.

Date: 5/8/00

Signature: 

PLEASE SEND COPIES PLAT
 OF MARKED REVISIONS: SITE
 UTILITY
 LANDSCAPE

NO COMMENTS – SUBMIT MYLARS

- ◆ Please add the following note:
All streets cuts, curb & gutter and sidewalk removal, and the repair & reconstruction of the aforementioned shall be done in accordance with the city's "Street Repair and Reconstruction Standards and Standards and Guidelines". The city inspector and/ or the City Engineer shall have final authority in regard to the limits of the street repair.
- ◆ Please show all existing access points on the south side of West Elizabeth Street.
- ◆ All overhead utilities will have to be buried in accordance with **Section 3.3.2(D)(7) of the Land Use Code**.

Grading and Erosion Control Plan; Sheet 4 of 10:

- ◆ In accordance with **Section 3.6.2(L)(2)(f) of the Land Use Code**, the eastern driveway access shall not allow drainage to cross the public sidewalk.
- ◆ The 2:1 slope for the detention ponds should be a minimum of 4:1. Please verify with the Stormwater Utility.
- ◆ The grading at the northern property line will require offsite grading easements as shown.

Elizabeth Street Plan & Profile; Sheet 7 of 10:

- ◆ The cross slope for widening an existing street "... shall be a straight line grade from the crown to the lip of new gutter adjacent to the new pavement" (**Street Design Manual; Section 1.02.03.14d**). Also, please show the street cut and repair to the centerline of West Elizabeth Street.
- ◆ Please label that the constructed curb and gutter is to be vertical.
- ◆ Cross section Comments:
 - a) Please show cross section every 50 feet.
 - b) The minimum allowable cross slope is 2.0%.
 - c) Please show the full cross section and label accordingly (see redlines for cross section 11+00).
- ◆ Please provide a signing and striping plan for West Elizabeth Street. Contact Ward Stanford or Eric Bracke for the extend of signing and striping required.
- ◆ The soils report must be updated.
- ◆ Eric Bracke, Traffic Engineer, has provided the applicant with three options in regard to access into this development. First, consolidate the curb cuts to one full movement and provide a cross access through the KFC parking lot. Second, redesign the curb cuts and the parking lot configuration so that the one-way drive aisle functions properly. Finally, provide a median to control access. (**All options will include shared access through the KFC parking lot**). In addition, please address the pedestrian crossing at King Soopers and/ or for the transit stop.

General Details: Sheet 10 of 10:

- ◆ The driveway detail should reflect what is being proposed (see other redlines).

Site and Landscape Plan Comments

- ◆ Please see redlined comments.

Plat Comments

- ◆ Please address comments from mapping and drafting.
- ◆ Please add correct Attorney's Certificate (see attachment).
- ◆ See other redlined comments.

Soils Report Comments

- ◆ A new soils report shall be submitted for this project.

Traffic Impact Study Comments

- ◆ The traffic impact study is proposing that there are two accesses into the site with full movements. As I understand it, if two access points are allowed they would have to function as right-in/ right-out. In addition, the Project Unit Development plan for KFC showed or required a shared access between this project and KFC. Please include this situation in the traffic study.



City of Fort Collins

PROJECT COMMENT SHEET

Current Planning

DATE: April 3, 2000 TO: **Engineering Pavement**

PROJECT: #12-00 Rams Park – Type II – PDP (LUC)

All comments must be received by **Ron Fuchs** no later than the staff review meeting:

May 3, 2000

Note- Please identify your redlines for future reference

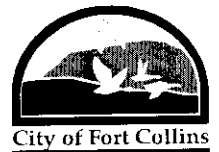
No Comment

Signature

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Plat Site Drainage Report Other _____

Utility Redline Utility Landscape



City of Fort Collins