



# REVISION COMMENT SHEET

DATE: January 26, 2000

TO: **Engineering**

PROJECT: #22-98 Raintree Animal Hospital, Project  
Development Plan (LUC)

All comments must be received by **Steve Olt** no later than the staff review meeting:

**Wednesday, February 16, 2000**

No Comment

Problems or Concerns (see below or attached)

**\*\*PLEASE IDENTIFY YOUR REDLINES FOR FUTURE REFERENCE\*\***

1. Why dedication of easement (along Shields) & dedication of R.O.W & easement (along Everstar) instead of Platting property? I believe owner will pay fees based upon area of Tract F not just building footprint. Suggest property be replatted The street of tract F original to site under.
2. City will install median on Shields. Probably this construction man - ok.

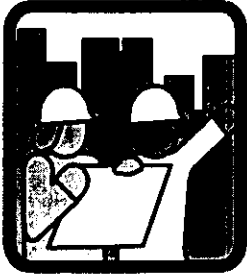
Date: 2-16-00

Signature: [Signature]

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

- Plat       Site       Drainage Report       Other \_\_\_\_\_  
 Utility       Redline Utility       Landscape





REVISION

0000

# COMMENT SHEET

DATE: March 8, 2000

TO: **Engineering**

PROJECT: #22-98A Raintree Animal Clinic – Type 1 – PDP (LUC)

All comments must be received by **Steve Olt** no later than the staff review meeting:

**Wednesday, March 29, 2000**

No Comment

Problems or Concerns (see below or attached)

**\*\*PLEASE IDENTIFY YOUR REDLINES FOR FUTURE REFERENCE\*\***

*Need signed easements prior to hearing -*

*Engineering ready for Mylons once water/wastewater comments are addressed*

Date: 3-29-00

Signature: *Steve Olt*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

|                                  |  |  |                                      |
|----------------------------------|--|--|--------------------------------------|
| <input type="checkbox"/> Plat    | <input type="checkbox"/> Site            | <input type="checkbox"/> Drainage Report | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Utility | <input type="checkbox"/> Redline Utility | <input type="checkbox"/> Landscape       |                                      |



City of Fort Collins



City of Fort Collins

# PROJECT COMMENT SHEET

COPY

## Current Planning

DATE: November 16, 1999 TO: **Engineering**

PROJECT: #28-98A Raintree Animal Hospital - Project  
Development Plan - Type 1 - LUC

All comments must be received by **Steve Olt** no later than the staff  
review meeting:

**December 15, 1999**

1. Need off-site easement for access and utilities, will need minor amendment to Senior Center project for elimination of parking spaces. *COREG Fisher is doing minor amendment. We provided legal description of easement on Senior Center.*
2. Need to provide driveway access to the south property *Added dashed lines showing future driveway*
3. Show on this plan the driveway locations on north side of Evenstar Court. Proposed driveway to align with the north drive.
4. All asphalt repairs to be in accordance with City Repair Standards
5. Show dimensions of parking lot layout, drive isles, parking spaces etc.
6. Traffic Engineer may require island at Evenstar to be removed and a median island to be built in Shields.
7. Need to dedicate parking lot as access and drainage easement. *These easements are enclosed.*
8. See other comments on red lined plans

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat       Site       Drainage Report       Other \_\_\_\_\_

Utility       Redline Utility       Landscape



City of Fort Collins



# REVISION

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# COMMENT SHEET

DATE: January 26, 2000

TO: Engineering

PROJECT: #22-98 Raintree Animal Hospital, Project Development Plan (LUC)

All comments must be received by **Steve Olt** no later than the staff review meeting:

**Wednesday, February 16, 2000**

No Comment

Problems or Concerns (see below or attached)

**\*\*PLEASE IDENTIFY YOUR REDLINES FOR FUTURE REFERENCE\*\***

1. Why dedication of easement (along Shields) & dedication of R.O.W & easement (along Everstar) instead of Platting property? I believe owner will pay fees based upon area of Tract F not just building footprint. Suggest property be replatted
2. City will install median on Shields. Probably this construction season -

Date: 2-16-00

Signature: *[Handwritten Signature]*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat                       Site  
 Utility                   Redline Utility  
 Drainage Report  
 Landscape

Other \_\_\_\_\_



City of Fort Collins



City of Fort Collins

# PROJECT COMMENT SHEET

COPY

## Current Planning

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DATE: November 16, 1999 TO: **Engineering/Pavement**

PROJECT: #28-98A Raintree Animal Hospital - Project  
Development Plan - Type 1 - LUC

All comments must be received by **Steve Olt** no later than the staff  
review meeting:

**December 15, 1999**

*No Comment*

*12-14-99 Rick Richter*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat       Site       Drainage Report       Other \_\_\_\_\_  
 Utility       Redline Utility       Landscape



City of Fort Collins



# PROJECT COMMENT SHEET *copy*

## Current Planning

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DATE: November 16, 1999 TO: **Engineering**

PROJECT: #28-98A Raintree Animal Hospital - Project  
Development Plan - Type 1 - LUC

All comments must be received by **Steve Olt** no later than the staff  
review meeting:

**December 15, 1999**

1. Need off-site easement for access and utilities, will need minor amendment to Senior Center project for elimination of parking spaces.
2. Need to provide driveway access to the south property
3. Show on this plan the driveway locations on north side of Evenstar Court. Proposed driveway to align with the north drive.
4. All asphalt repairs to be in accordance with City Repair Standards
5. Show dimensions of parking lot layout, drive isles, parking spaces etc.
6. Traffic Engineer may require island at Evenstar to be removed and a median island to be built in Shields.
7. Need to dedicate parking lot as access and drainage easement.
8. See other comments on red lined plans

*12/16/99 Steve Olt*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat       Site       Drainage Report       Other \_\_\_\_\_

Utility       Redline Utility       Landscape



DATE 1/5/84

DEPARTMENT Engineering

ITEM: #4-84 - RAIN TREE PUD - MASTER PLAN

## COMMENTS

1. Soils report is inadequate
2. Median Island in entrance + entrance is poor design
3. Access from Shields is questionable with Phase I - How can part of the PUD be off site? A full street (Rain tree) must be built as well as the full access of Shields
4. Relate 2 spaces in southernmost <sup>center</sup> aisle
5. Setback from FL to aisle or drive s. of large detail to be 100'
6. Southernmost drive off Rain tree to be city st curb cut.
7. All drives to have concrete to pty line
8. Use Rain tree as major access
9. Alignment of Shields - as shown or 10' to west would affect retail bldgs.
10. Rich has major problems with the design of Rain tree



January 20, 1984

Mr. Frank Vaught  
ZVFK Architects  
218 West Mountain Avenue  
Fort Collins, CO 80521

Dear Frank,

The staff has reviewed the application for Master Plan and Preliminary PUD approval of the Raintree PUD and would offer the following comments:

Master Plan

1. The preliminary plan information should be removed from the Master Plan sheet. Both the Master Plan and preliminary plan should stand on their own.
2. Parcel D should indicate type of residential units being anticipated.
3. 150 foot information surrounding the site is inadequate.
4. Owners, attorneys and Planning and Zoning Board Secretary's certification blocks should be on the Master Plan.
5. The Master Plan Planning Objectives should address the City Land Use Policies being achieved and estimate of employees.
6. Legal description should be for entire Master Plan.
7. The land use data should include a total figure for entire Master Plan in addition to breakdown by phases.
8. A development phasing schedule should be provided.
9. The staff is concerned about impact that the increase in square footage over the approved Master Plan will have upon the substandard collector street surrounding the site (Raintree Drive). The staff foresees future traffic problems with the configuration of this street and would like to work with the applicants to resolve this problem.



A



10. A signed mylar of the Master Plan should be submitted to me no later than February 21, 1984.
11. The Master Plan information should be removed from the preliminary plan. All information required by the PUD regulation should be indicated on the preliminary PUD site plan.

Preliminary Plan

12. The soils report that has been provided is inadequate. Please revise.
- ★ 13. The staff feels Raintree Drive as it abuts Parcel A should be constructed to its full width with the development of Parcel A. Please revise note #2.
- ★ 14. A preliminary subdivision plat should be submitted as soon as possible. Dedication of additional ROW along Drake and Shields in addition to the full dedication of Raintree Drive should be indicated on the plat. Shields Street may be shifted off the center of the existing sheet by about 10 feet. A decision from Public Works is forthcoming on this issue.
- ★ 15. According to City standards, the setback of the parking aisle at the Drake Road entrance should be a minimum of 100 feet from the flowline of Drake Road. Please revise plan.
16. The curve radii in parking lots and public streets should be indicated on the site plan.
17. The location of the southernmost curb cut is too close to the Drake Road/Raintree intersection. Please revise to City standards.
- ★ 18. The staff is very concerned about the full movement intersections being indicated on the site plan for Drake Road and Shields Street in terms of the turning movements. The traffic study indicates the 1983 intersection operation for left turns will be at a Level of Service E. This impact is not acceptable. The staff would like to work with the property owners to arrive at a more suitable alternative.
- ★ 19. The staff is very concerned that the orientation of traffic from the preliminary plan is to the curb cuts on Drake Road and Shields Street. The City's Land Use and Traffic policies have been to locate neighborhood shopping centers on the corner of a collector and arterial street with minor access points off of the arterial. The site plan as submitted appears to conflict with these policies. The staff would like to work with the applicants in terms of re-evaluating the plan in terms of re-orienting the major traffic access to Raintree Drive.

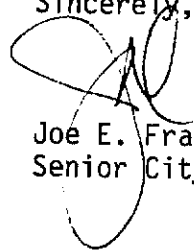
- 
20. The plan as indicated appears to split the north half of the Master Plan from the south with a major circulation drive. The applicants should provide further evidence to indicate how in the future it is anticipated the north half of the property will be integrated into the south half in order to create a unified planned unit development in terms of design, landscaping and pedestrian/vehicular circulation.
- 
21. The staff questions the safety and desirability of the configuration of the median island at the Drake Road entrance.
22. All drives to be concrete to property line.
23. The staff has identified a possible conflict area between cars backing out of spaces and cars traveling along the internal drive system. Please contact me for location.
24. The staff would like to work with the applicants to determine which entrance to the project will be designed as standard curb cuts or curb returns.
25. Eight foot easements along Raintree Drive and 15 foot utility easements along Drake Road and Shields Street will be required. Please note all existing and future easements on the site plan. Cross access and emergency vehicles access easements will be required across all parking areas.
26. As the sewer connection is extended to the northwest and tapped into the new sewer extended by the Parks and Recreation Department from Moore Park, reimbursement for 50% of the City's extension should be made to the Park Bond Fund. The approximate cost is \$5,000.
27. A water line needs to be installed in the 30 foot drive between Parcel B and Parcels D, E, and F. This line could replace the water line proposed through Parcel A. A sewer needs to be extended through Parcel A and B to provide service to Parcels D, E, and F. A repay is due on the sewer line in Drake Road. The amount of the repay is yet to be determined.
28. Architectural elevations of proposed buildings should be submitted with the preliminary plan documents. The plans should indicate general architectural treatment and character of all buildings in the site plan.
29. The staff is concerned about the splitting of the 9,600 square foot and 10,000 square foot buildings from the main retail area. The staff would recommend the applicants re-evaluate the plan in terms of integrating these buildings into the main retail area thereby producing a more functionally organized and cohesive planned unit development.

30. The applicants should provide evidence as to how the design and arrangement of elements of the site plan contribute to the overall reduction of energy use by the project.
31. The staff is concerned about the unsightliness of the rear of the main retail building from Raintree Drive. The staff would recommend additional open space buffer area and landscape screening be provided in this area. Also, all portions of the exterior walls of the main retail area should be treated with the same materials. Also, has sufficient trash areas been provided for the grocery store?
32. The pedestrian connection between the future residential areas and the retail center are unclear. This pedestrian tie is very important.
33. A pedestrian connection should be made between the future restaurant and the public sidewalk along Drake Road and between the main retail center and the restaurant. Please revise.
34. Additional planter areas within the parking lot is recommended. Also, the preliminary landscape plan should indicate low shrubs in addition to trees in the planters.
35. The landscape plan should be re-evaluated in terms of providing trees in addition to the low lying shrubs along the east elevation of the main retail center; additional foundation plantings along the west portion of the retail center in addition to each of the other building pads; and, additional street tree plantings and screening materials along the public streets. Height of berms should be indicated.
36. The building envelopes appear to be very close to the abutting arterial streets. The setbacks of buildings in the area have been established to some extent by the final approval of residential buildings in the Raintree development. The applicants should provide evidence as to how the proposed location of the buildings in the commercial area will be consistent with this established building setback.
37. The staff questions the desirability of locating the parking lot on the corner of Drake Road and Shields Street in terms of its appearance. The staff would recommend the applicants re-evaluate the plans in terms of either relocating this parking and/or increasing the amount of landscaped open space in this area.
38. The width of sidewalks along Drake Road and Shields Street will need to be a minimum of seven feet where they abut the curb.
39. Additional bicycle parking should be provided for the major retail area.

40. The site plan should indicate location of grocery store.
41. The staff questions the points you have taken on Point Chart B. I would recommend we meet as soon as possible to discuss this point chart.

I would recommend we meet as soon as possible to discuss the above comments. Revisions to the plans reflecting the above comments should be delivered to me no later than Wednesday, February, 8, 1984. On Tuesday, February 21, 1984, 8½" X 11" PMT reductions and colored renderings of all plans must be submitted. If you should have any questions, please feel free to call me.

Sincerely,



Joe E. Frank  
Senior City Planner

CC: Mauri Rupel, Development Center Director  
Bonnie Tripoli, Development Coordinator  
Rick Ensdorff, Traffic Engineer

JEF/kb

DATE

4 January 85

DEPARTMENT

Eng

ITEM:

146-79F

RAINTREE PUD, PHASE 2 - Preliminary

## COMMENTS

1. Curb cut design at North is unacceptable
2. Show all handicapped ramps ie street intersections  
fast food
3. Redesign of Raintree?
4. Dimension driveways
5. What happens to walk at right in - right out?
6. Shields design to follow design on file  
in City Engineers Office.
7. L&P needs 15' easement on arterials  
8' on Raintree.
8. Concrete to ptg line on curb cuts
9. Setback FL to aisle

## ITEM:

146-79E

RAINTREE PUD, PHASE 1 - FINAL

## COMMENTS

1. Show kerbcutting ramps at all corners
  2. Pedestrian access to tract C from Retail is poor - access in regard to Retail is disjointed
  3. Dimensions
    1. Walks
    2. Aides (by medians)
    3. Drive cuts
    4. Interior radii
    5. Setbacks/walks from st.
  4. Show walk along Raintree
  5. Trees in pedestrian island in center of parking will be hit by cars.
  6. Medians at entrance to west is poorly designed - too short - serves no purpose other than making it more difficult for people to make left turns from behind grocery store.
  7. All of curb cut must be part of PUD (NW)
  8. Detach walk along Raintree
  9. Call out edge of pavement treatment interior
  10. Curb cuts to all be concrete to ptg line
  11. Show correct design of Shields & Drake.
  12. Name of PUD should be Raintree
1. PUD - there is already a

13. Plat - can they plat Tracts A, B+C?  
14. Easements to be continued through Tract  
B  
15. Show easements +

# CITY OF FORT COLLINS

COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING DIVISION  
January 28, 1985

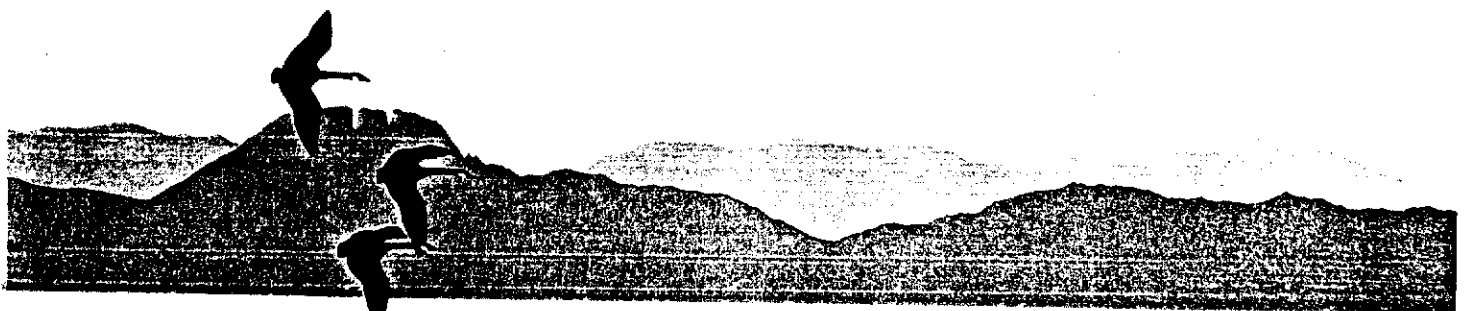
Frank Vaught  
ZVFK Architects  
11 Old Town Square, Suite 200  
Fort Collins, Colorado 80524

Dear Frank:

Staff has reviewed the application for preliminary approval and first phase final approval of the Raintree Commercial PUD and offers the following comments:

## PRELIMINARY

1. Staff has some serious concerns regarding traffic circulation. I recommend we meet to discuss these items as soon as possible. In general, the concerns are as follows:
  - a. The design of the main entrance to Raintree Drive in the northeast corner of the project is unacceptable. The applicants need to reevaluate the design of the curb cut in terms of its alignment and width; setback from the future signalized intersection and its relative location to future curb cuts on the other side of Raintree Drive. This curb cut does not appear to be designed to any standard.
  - b. Staff questions the design of the entrance to Raintree Drive in the southwest corner of the project in terms of the transition; location of the median; and distance to the signalized intersection.
  - c. The site plan should show the existing design of the medians in Drake Road and Shields Street. The limited left-turn median improvements in Drake Road will not work with the previously approved location of curb cut to Cimarron Plaza. Staff questions the length of left turn bays indicated in the traffic impact study. Also, northbound left turns at the major entrance to Shields Street will not be allowed in the future. Deceleration lanes for both Drake Road and Shields Street curb cuts should be provided.



OFFICE OF COMMUNITY  
DEVELOPMENT

300 LaPorte Ave. • P.O. Box 580 • Fort Collins, Colorado 80522 • (303)221-6750

This unofficial copy was downloaded on Oct-26-2020 from the City of Fort Collins Public Records Website: <http://citydocs.fcgov.com>  
For additional information or an official copy, please contact Engineering Office 281 North College Fort Collins, CO 80521 USA



- d. The interior median design at the Shields Street entrance needs to be redesigned. Some additional signage is recommended for this area.
  - e. The curb cut for the drive-through facility is not justified and should be removed.
  - f. Staff sees some problems with the design of the circulation system for the drive-through facility.
  - g. The design of the Shields Street entrance needs to be reworked.
  - h. Staff questions the location of the other curb cuts on Raintree Drive in terms of future sight distance problems. How will the development of Tract G fit into the overall traffic circulation of the site?
  - i. The Traffic Impact Study mentioned the need for double left turns at the Shields Street/Drake Road intersection. How will this be accomplished?
  - j. Raintree Drive should be designed to City standards.
  - k. The design of Shields Street should follow the plans on file in the City's Engineers Office. The site plan should be revised to reflect these plans.
2. All locations of handicapped ramps should be shown on the site plan.
  3. All driveways should be dimensioned.
  4. A 15 foot utility easement will be required along Shields Street and Drake Road; eight foot easements will be required along all interior streets. Please show all existing and proposed utility easements on the site plan.
  5. The curb cuts shall be concrete to property line. Please indicate on site plan.
  6. Staff questions the design of the loading area north of the 19,000 square foot retail pad.
  7. Location of fire hydrants should be shown on the site plan.
  8. Developer should contact Bob Snow at 224-7473 or Les Thompson at 224-7470 for information on Land Development Agreements and trench requirements for telephone facilities.
  9. A preliminary subdivision plat should be submitted.
  10. Specific use of 4500 square foot "drive-through facility" should be indicated on the site plan. If it is a restaurant, the location of the "menu" board should be identified. The operation and design of the

drive-thru facility is unclear. Please note dimensions of drives in the drive-thru.

11. Loading zone for "drive-thru" use should be indicated on the site plan.
12. Proposed land uses for Tract A and C should be indicated on the site plan. If these uses are for retail or restaurant, loading zones will be required.
13. Staff is unclear as to how future development of Tract G will be incorporated into the rest of the plan. Please provide additional information on this tract.
14. Phase lines are unclear.
15. Planning Objective should be revised to address the items as required in the PUD regulations. Surrounding 150 foot information is incomplete. Please revise. Point Charts justifying the proposed uses should be submitted.
16. There has been considerable interest in a gas station in the area. Staff strongly encourages the applicant to consider the location of a gasoline service station use in this project. The site plan should provide a specific listing of types of "retail uses" being contemplated for the rest of the center.
17. Staff questions the desirability of locating a large parking lot on the corner of Drake Road and Shields Street in terms of its negative visual impact. Please provide evidence to justify the plan design.
18. The plan should provide for a pedestrian connection between the proposed building in Tract C and the main retail center. Sidewalk connection should be provided between Tract A building and public street sidewalk. A sidewalk should be provided along the south edge of the Shields Street entrance. The sidewalk along Raintree Drive should be separated from the curb at least six feet.
19. The site plan should indicate location and fate of existing significant trees. Please revise.
20. The landscape plan should be re-evaluated in terms of the following:
  - a. Provision of evergreens and shrub beds along all streets;
  - b. Additional foundation plantings along both sides of 22,000 square foot retail building; 19,000 square foot retail building and for the drive-through facility;
  - c. Additional landscape screening treatment of all parking lots and drive-through facilities from public streets.

- d. Parking islands should include low lying shrubs in addition to trees.
- e. Providing landscaping in medians in Drake Road and Shields Street.
- 21. Staff questions the location of the tree wells in the pedestrian walkway in Tract D in terms of possible conflict with overhang of cars in parking spaces.
- 22. What is proposed treatment of crosswalk areas. Please provide typical detail of these areas on the site plan.
- 23. Building height of all buildings in feet and stories should be indicated on the site plan.
- 24. Width of greenbelt areas along public streets should be indicated on the site plan.
- 25. The site and parking statistics should also include "total" figures in addition to figures for individual phases or buildings.
- 26. The site plan should provide statement of planning objectives for compatible architectural treatment of buildings in the center.
- 27. Energy conservation measures should be indicated on the site plan.

#### FINAL PLAN

- 28. Staff has some problems with the traffic circulation plans. I recommend we meet to discuss this item. In general, the problems are as follows:
  - a. All improvements to Drake Road will need to be installed as part of the first phase.
  - b. The design of the median in Drake Road will not work as a result of the location of the curb cut as approved for the Cimarron Plaza PUD.
  - c. The median in the interior drive at the Drake Road entrance needs some improvement.
  - d. The design and location of the Raintree Drive entrance is not acceptable.
  - e. Existing medians in Shields Street should be shown on the site plan. Full left turns will be allowed for the first phase of development. In the future, limited left turns will be permitted. Plans need to be made for handling left turn stacking on Shields Street.
  - f. The Shields Street entrance design needs to be reworked.

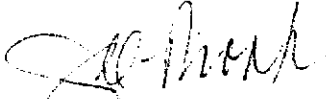
29. Handicapped ramps should be provided at all corners. Please revise.
30. The pedestrian access to Tract C from the mail retail center is poor. A detached sidewalk will be required along Raintree Drive. The plan should provide a sidewalk connection between Raintree Drive sidewalk and sidewalk in front of 9600 sq ft retail building.
31. The plan should include dimensions for all walks, parking aisles, drive cuts and interior radii. Please revise.
32. Staff questions the location of the tree wells in the pedestrian walkway in terms of being hit by overhanging cars in parking spaces. Please provide evidence to justify plan design.
33. All curb cuts and drives must be within the limits of the PUD. Please revise.
34. The plan should include a note addressing the edge of pavement treatment on interior driveway.
35. All curb cuts to be concrete to property line. Please note.
36. The design of Shields Street appears to be incorrect. Please follow design as provided by the City Engineer's Office.
37. The applicant should work with staff to develop a sequence of names for phases of the Raintree PUD that is not confusing.
38. The tracts cannot be platted as lots.
39. The easements to be continued through tract B. Please revise.
40. All easements should be shown on the site plan. Please revise.
41. Two new fire hydrants will be required at the north end of the site. Please show locations of fire hydrants on the site plan. Please indicate where the sprinkler connections will be located on the buildings.
42. Distance of building envelopes to at least two platted property lines should be indicated on the site plan.
43. The proposed use of the 9600 square foot building should be indicated on the site plan. A specific listing of retail uses should also be included on the plan. Please revise.
44. Bicycle parking should be provided for the 6400 square foot retail building.
45. The location of property lines on the site plan are unclear and could present problems at building permit review stage. Please clarify.

46. Staff questions the adequacy of the number of handicapped parking spaces being provided for the grocery store. Please provide evidence to justify the plan.
47. Building height in feet and stories should be indicated on the final site plan.
48. Six foot sidewalks will be required in front of retail building. Please indicate.
49. Staff questions the desirability of locating the trash area for the 6400 square foot retail building next to the arterial street. Please move.
50. Berming and additional plantings should be provided in the buffer area between the grocery store and Raintree Drive.
51. The plant list and the landscape plan should indicate sizes and number of shrub plantings in planting beds. Staff recommends the use of larger than standard plantings at strategic locations in the site.
52. The landscape plan should indicate extent of sod areas along Shields Street and Drake Road to be installed with the first phase.
53. Medians in Drake Road and Shields Street should be indicated. Landscape plans for the medians should also be indicated. I recommend you contact Tim Buchanan for guidance in these areas.
54. The foundation plantings should include some upright plantings such as large shrubs or trees in addition to low growing vegetation. Please revise.
55. The landscape plans should note existing trees to remain.
56. Energy conservation measures should be indicated on the site plan.
57. Exact treatment of pedestrian crossings should be shown on the site plan.
58. Building elevations should be submitted for 6400 square foot retail building. Elevation of north, south and west sides of buildings should be indicated. Elevations should note exterior building materials and colors.
59. Signed mylars of the final subdivision plat, site plan, landscape plan and building elevations should be submitted to me no later than Thursday, February 21, 1985. Also, a signed copy of the Site and Landscape Covenants documents should also be delivered on that date.
60. On Monday, February 18, 1985, 8 1/2" x 11" reductions of all plans and colored renderings of the preliminary and final plans should be submitted to this office. Also on that date, ten full size copies of all plans should be submitted to me.

Mr. Frank Vaught  
From: Joe Frank  
January 28, 1985  
Page Seven

I recommend we meet as soon as possible to discuss the above comments. Revisions to the plans should be delivered to this office no later than Monday, February 4, 1985. If you cannot meet the above deadlines, I recommend the item be continued until the March meeting of the Planning and Zoning Board. If you have any questions, please feel free to contact me.

Sincerely,



Joe Frank  
Senior City Planner

cc: Bonnie Tripoli, Development Coordinator  
Sam Mutch, Planning Director

DATE

7 May 85

DEPARTMENT

Erq

ITEM: RAIN TREE COMMERCIAL PUD, Ph 1, Tract B, Preliminary.

## COMMENTS

1. Parking was to be lower than surrounding area - locate retaining walls
2. Do not understand reason for 40' radius shown in SE corner
3. Show interior radii

CITY OF FORT COLLINS  
COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING DIVISION

May 22, 1985

Frank Vaught  
ZVFK Architects/Planners  
Eleven Old Town Square, Suite 200  
Fort Collins, Colorado 80524

Dear Frank:

Staff has reviewed Raintree PUD - Phase 1, Tract B, and has the following comments:

ENGINEERING

1. Parking was to be lower than the surrounding area - need to locate retaining walls.
2. The 40' radius shown in the SE corner should be removed.
3. Need to show exterior radii.

STORM DRAINAGE

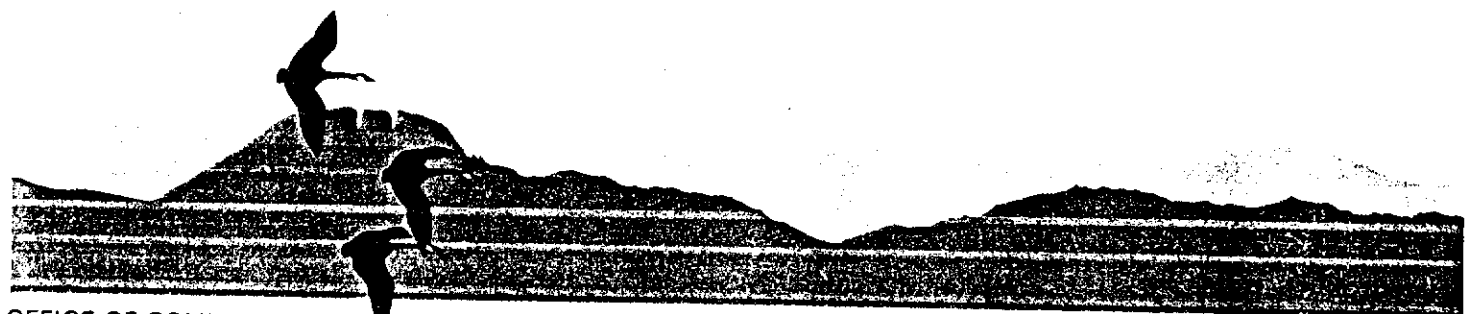
1. There is a potential for water backing up from inlet on Drake Rd. to parking lot, especially if any sediment has built up in the outfall line from the inlet. How will this be addressed?

LIGHT AND POWER

1. Any construction at the corner of Drake and Shields (landscaping, signs, berms, etc.) will need to be coordinated with L & P as there are two large vaults in this area (1 L & P, 1 telephone).

PUBLIC SERVICE

1. Request 15' wide utility easement adjoining the west ROW line of Shields St. and north ROW line of Drake Rd. and 8' wide utility easement adjoining ROW lines on both sides of Raintree Dr.





DATE

28 May 85

DEPARTMENT

Eng

ITEM:

146-79H RAIN TREE COMMERCIAL PUD, PHASE 1 REVIS E D  
Revised Preliminary for Tracts A, B,, & C, Final for Tract B (only)

## COMMENTS

1. Parking lot was to be sunken
2. Grading plan does not match site plan