

REVISION COMMENT SHEET

DATE: December 3, 1998 DEPT: **Engineering**
PROJECT: #28-98 Prospect Industrial Park
PLANNER: Steve Olt
ENGINEER: Mark McCallum

All comments must be received no later than the staff review meeting:

Utility Plan Comments:

- See redlined comments on all sheets of the utility plan.

Utility, Grading, Drainage, and Erosion Control Plan; Sheet 3 of 4: I added Cross Section & added Mid Block Ramp Detail

- Show cross-section of the retaining wall. ~~Added across~~ *The Retaining Wall section was already on Plat*
- See redlined access ramp. It will not provide enough clearance behind the walk for pedestrians. There should be a minimum of 4 feet. *I added Mid Block ramp which is for walk for pedestrian.*

Site and Landscape Comments:

- See redlined access ramp. It will not provide enough clearance behind the walk for pedestrians. There should be a minimum of 4 feet. *I added Mid Block ramp which is for pedestrian; walk at Right Angle to ramp.*

PLAT:

SEE PROPOSED PLAT LANGUAGE

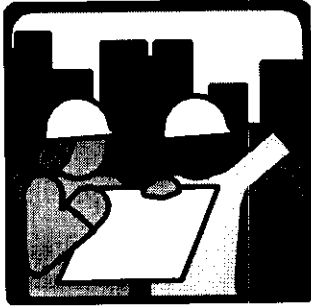
We changed the Sub. Plat language.

Date: 12/1/99 Signature: *Mark McCallum*

Please send copies of marked revisions Plat Site
 Utility Landscape



RESPONSE L: 2



REVISION COMMENT SHEET

DATE: December 3, 1998 DEPT: **Engineering**
PROJECT: #28-98 Prospect Industrial Park
PLANNER: Steve Olt
ENGINEER: Mark McCallum

All comments must be received no later than the staff review meeting:

Utility Plan Comments:

- See redlined comments on all sheets of the utility plan.

Utility, Grading, Drainage, and Erosion Control Plan; Sheet 3 of 4:

- There is a note on the landscape plan and/ or site plan in regard to 2:1 slope and retaining wall. The slope should be shown on the utility plan with grading lines. Also, the retaining wall should be shown with a detail. *I added a section of the Retaining Wall*
- Show all access ramps and painted crosswalks as shown on the site and landscape plan. *I added some ramps to match Site Plan.*

Site and Landscape Comments:

- The site, landscape and utility plans should all depict the same design. *I added things to match*
- Include the following sentence as a note on the landscape plan. In the areas where sight distance easements will need to be dedicated three landscaping criteria will have to be met:
 - Fences shall not exceed 42" in height and shall be of open design. If fences exceed 32" in height, they shall be constructed of split rail with a minimum dimension of 12" between horizontal members.
 - Berms, hedges, and shrubs shall not exceed 32" in height.
 - Tree planting shall be restricted to deciduous trees only. The lowest branch of any tree shall be no less than 42" from grade.
- The driveways are not designed to have curb returns as shown on the utility plans.
- The cedar fence should not be within any easements.

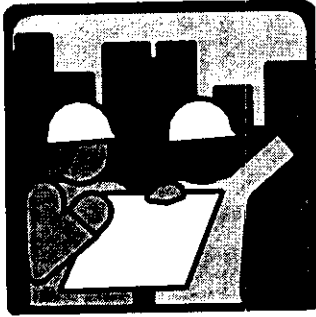
Date: 1/1/99

Signature: Mark McCallum

Please send copies of marked revisions

Plat Site
 Utility Landscape





REVISION COMMENT SHEET

DATE: December 3, 1998 DEPT: **Engineering**
PROJECT: #28-98 Prospect Industrial Park
PLANNER: Steve Olt
ENGINEER: Mark McCallum

All comments must be received no later than the staff review meeting:

Utility Plan Comments:

- See redlined comments on all sheets of the utility plan.

Utility, Grading, Drainage, and Erosion Control Plan; Sheet 3 of 4:

- Show cross-section of the retaining wall.
- See redlined access ramp. It will not provide enough clearance behind the walk for pedestrians. There should be a minimum of 4 feet.

Site and Landscape Comments:

- See redlined access ramp. It will not provide enough clearance behind the walk for pedestrians. There should be a minimum of 4 feet.

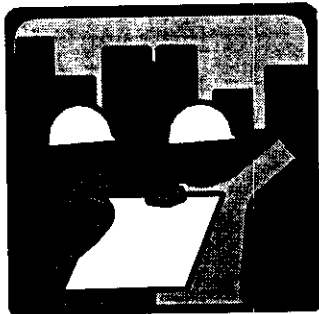
Date: 2/16/99

Signature: *Mark McCallum*

Please send copies of marked revisions

Plat Site
 Utility Landscape





REVISION COMMENT SHEET

DATE: September 28, 1998 DEPT: **Engineering**
PROJECT: #28-98 Prospect Industrial Park
PLANNER: Steve Olt
ENGINEER: Mark McCallum

All comments must be received no later than the staff review meeting:

Utility Plan Comments:

- See redlined comments on all sheets of the utility plan.

Replat; Sheet 2 of 4:

- A sight distance easements will have to be dedicated due to the sight distance issues associated with the driveways/accesses.

Utility, Grading, Drainage, and Erosion Control Plan; Sheet 3 of 4:

- The sidewalk should be a minimum of 5 feet in width, and it should be adjusted so the back of the walk is abuts the property line. This in turn will increase the parkway width to the required 8 feet.
- The driveway access details do not match, and they do not represent the standard driveway detail. To clarify:
 - The eastern driveway is showing a concrete pan, instead of the typical drive-over detail. This is acceptable if modifications are made to the driveway detail.
 - The western driveway is showing that the drive-over pan at the driveway is existing. If it is not existing than depict the flowline drive-over portion of the curb.
 - The driveways do not have to be exactly the same, but details do have be included on the detail sheet. If the detail shown for the driveway is the one being used, please clarify your intent.
- The parking space setback along a two-lane collector with an average daily traffic less than 750 requires 50 feet of setback. See the redlined parking stall that does not meet the requirement.
- Include note to curb cuts within the ROW for the accesses.
- Show the ROW dimensions as redlined on the utility plan.

Detail Sheet; Sheet 4 of 4:

- Include the following details:
 - Concrete pan
 - 2 foot metal sidewalk culvert.
 - Sidewalk transition detail.

Site and Landscape Comments:

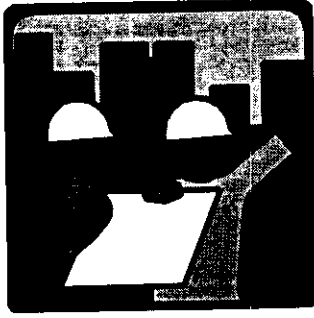
- The sidewalk should be detached and the parkway should be 8 feet from the street flowline to the sidewalk.
- The access ramps appear to be shown in the driveway. Move the access ramps, as shown with redlined comments.
- Show an additional three feet of ROW that will be dedicated as a result of this development.
- The parking space setback along a two-lane collector with an average daily traffic less than 750 requires 50 feet of setback. See the redlined parking stall that does not meet the requirement.
- In the areas where sight distance easements will need to be dedicated three landscaping criteria will have to be met:
 - Fences shall not exceed 42" in height and shall be of open design. If fences exceed 32" in height, they shall be constructed of split rail with a minimum dimension of 12" between horizontal members.
 - Berms, hedges, and shrubs shall not exceed 32" in height.
 - Tree planting shall be restricted to deciduous trees only. The lowest branch of any tree shall be no less than 42" from grade.
- Show cross-pans at the driveway as shown on the utility plan.

Name: M.S. Williams Date: 10/14/98
Signature: _____

Please send copies of marked revisions

Plat Site
 Utility Landscape





REVISION COMMENT SHEET

DATE: September 28, 1998 DEPT: **Engineering**
PROJECT: #28-98 Prospect Industrial Park
PLANNER: Steve Olt
ENGINEER: Mark McCallum

All comments must be received no later than the staff review meeting:

Utility Plan Comments:

- See redlined comments on all sheets of the utility plan.

Replat; Sheet 2 of 4:

- A sight distance easements will have to be dedicated due to the sight distance issues associated with the driveways/accesses. *I added the sight distance easement.*

Utility, Grading, Drainage, and Erosion Control Plan; Sheet 3 of 4:

- The sidewalk should be a minimum of 5 feet in width, and it should be adjusted so the back of the walk is abuts the property line. *This in turn will increase the parkway width to the required 8 feet. I made Walk on R & S Width Parkway = 75' To B.C.*
- The driveway access details do not match, and they do not represent the standard driveway detail. To clarify:
 - The eastern driveway is showing a concrete pan, instead of the typical drive-over detail. This is acceptable if modifications are made to the driveway detail.
 - The western driveway is showing that the drive-over pan at the driveway is existing. If it is not existing than depict the flowline drive-over portion of the curb. *I think I changed this how you wanted. Both Driveway Cuts are the same*
 - The driveways do not have to be exactly the same, but details do have be included on the detail sheet. If the detail shown for the driveway is the one being used, please clarify your intent.
- The parking space setback along a two-lane collector with an average daily traffic less than 750 requires 50 feet of setback. See the redlined parking stall that does not meet the requirement. *I made compact space as per site plan*
- Include note to curb cuts within the ROW for the accesses. *I made accesses same & added note*
- Show the ROW dimensions as redlined on the utility plan. *I did this.*

Detail Sheet; Sheet 4 of 4:

■ Include the following details:

- Concrete pan
- 2 foot metal sidewalk culvert. *I added D-10*
- Sidewalk transition detail. *I assume since there is no existing walk on either side of this lot there is no transition needed. When ever the asphalt walk is poured, it will be detached 5' walk.*

Site and Landscape Comments:

- The sidewalk should be detached and the parkway should be 8 feet from the street flowline to the sidewalk.
- The access ramps appear to be shown in the driveway. Move the access ramps, as shown with redlined comments.
- Show an additional three feet of ROW that will be dedicated as a result of this development.
- The parking space setback along a two-lane collector with an average daily traffic less than 750 requires 50 feet of setback. See the redlined parking stall that does not meet the requirement.
- In the areas where sight distance easements will need to be dedicated three landscaping criteria will have to be met:
 - Fences shall not exceed 42" in height and shall be of open design. If fences exceed 32" in height, they shall be constructed of split rail with a minimum dimension of 12" between horizontal members.
 - Berms, hedges, and shrubs shall not exceed 32" in height.
 - Tree planting shall be restricted to deciduous trees only. The lowest branch of any tree shall be no less than 42" from grade.
- Show cross-pans at the driveway as shown on the utility plan.

Name: MS McLaughlin Date: 10/14/98
Signature: _____

Please send copies of marked revisions

Plat Site
 Utility Landscape





City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 24, July 1998

DEPT: Engineering

PROJECT:

#28-98 Prospect Industrial Park, Lot 15 (LUC) Type I PDP

PLANNER: Steve Olt

ENGINEER: Mark McCallum

All comments must be received by: 08/05/98



No Problems

Problems or Concerns (see below or attached)

General Comments:

1. Midpoint Drive is designed with 36 feet of roadway width and 60 feet of right-of way. According to the Fort Collins Master Street Plan Midpoint Drive is a two-lane collector without parking which should allow for 40 feet of roadway width and 66 feet of right-of-way. Under the Fort Collins Master Street Plan the proposed development will have to dedicate an additional three feet of right-of-way along their property frontage to allow for 33 feet from the roadway centerline to their property. *We dedicated 3' on sub-plan.*
2. In order for a more detailed review I would like to see page 3 of 4 of the utility plan separated into two pages: *Mark McCallum & Jeff Hill agreed to not require this.*
 - (a) Utility Plan
 - (b) Grading, Drainage, and Erosion Control Plan
3. Show surrounding features for a minimum of 150 feet around the entire site. *Show 47' road setback 50' setback*
The N.W., S.E & East Side are vacant land. Lot 10 has parking lot that is shown
4. Streets and/or driveways shall align with each other on opposite sides of a residential or collector street otherwise be separated by a minimum of 200 feet on center. Distance less than 200 feet must be verified as adequate and supported with the traffic analysis. *We reviewed driveway.*
5. The parking space setback along a two-lane collector roadway with an average daily traffic less than 750 requires 50 feet of setback. *We moved parking spaces back.*

6. The saw cut boundary for the eastern access should be made so as to not be in the flow of traffic. The saw cut should extend to the centerline. Final saw cut and asphalt patch limits shall be determined in the field by the City Construction Inspector. *I revised patch.*

7. The utility plans differ from the site and landscape plans as follows:

- (a.) The utility plan does not demonstrate a sidewalk at the western access. *I added this.*
- (b.) The utility plan depicts access ramps crossing both accesses.

Utility Plan Comments:

Cover Sheet:

- 8. Include the legal description below the project name on the cover sheet. *The legal desc. is Lot 15, Prospect Ind. Park which is the title.*
- 9. Reference the updated/current soils investigation report.

Replat; Sheet 2 of 4:

- 10. Date of preparation must be provided. *This is under North arrow.*
- 11. Label all adjoining properties. *I labeled them by Lot #*
- 12. Two(2) ties to section corners must be included. *This is not required in a Replat of a Lot in a sub. Talk to Wally Muscott.*

Utility and Grading & Drainage Plan and Erosion Control Plan; Sheet 3 of 4:

- 13. Plans should show centerline of Midpoint Drive. The basin line should not depict the centerline. *The basin line & centerline are one of the same.*
- 14. Show all existing underground utilities including gas, electric, telephone, and cable on all utility plans. *There is a telephone line along rear line and a power line along the front for the street lights.*
- 15. To make the overall grading, drainage, and erosion control plan more clear submit it as a separate sheets. *See comment 2.*

P.D.P. Plan Comments:

- 16. The configuration of the access and all access ramps should be representative of the utility plan. See comment #7.
- 17. Show surrounding features for a minimum of 150 feet around the entire site.
- 18. Streets and/or driveways shall align with each other on opposite sides of a residential or collector street otherwise be separated by a minimum of 200 feet from the center. Distance

*4/16/20 11:00 AM
4/16/20 11:00 AM*

less than 200 feet must be verified as being adequate and supported with the traffic analysis.

21. The parking space setback along a two-lane collector roadway with an average daily traffic less than 750 requires 50 feet of setback.

70 ft

Date: 8/3/98 Signature: M.S. McCallum

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: July 2, 1998 TO: Engineering Pvmt.

PROJECT: #28-98 Prospect Industrial Park, Lot 15 - (LUC)
Type I PDP

All comments must be received by Steve Olt no later than the staff review meeting:

Wednesday, August 5, 1998

No Comment

Date:

8-26-98

Signature:

Steve Olt

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape



City of Fort Collins



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 24, July 1998

DEPT: Engineering

PROJECT: #28-98 Prospect Industrial Park, Lot 15 (LUC) Type I PDP

PLANNER: Steve Olt

ENGINEER: Mark McCallum

All comments must be received by: 08/05/98



No Problems

Problems or Concerns (see below or attached)

General Comments:

1. Midpoint Drive is designed with 36 feet of roadway width and 60 feet of right-of way. According to the Fort Collins Master Street Plan Midpoint Drive is a two-lane collector without parking which should allow for 40 feet of roadway width and 66 feet of right-of-way. Under the Fort Collins Master Street Plan the proposed development will have to dedicate an additional three feet of right-of-way along their property frontage to allow for 33 feet from the roadway centerline to their property.
2. In order for a more detailed review I would like to see page 3 of 4 of the utility plan separated into two pages:
 - (a) Utility Plan
 - (b) Grading, Drainage, and Erosion Control Plan
3. Show surrounding features for a minimum of 150 feet around the entire site.
4. Streets and/or driveways shall align with each other on opposite sides of a residential or collector street otherwise be separated by a minimum of 200 feet on center. Distance less than 200 feet must be verified as adequate and supported with the traffic analysis.
5. The parking space setback along a two-lane collector roadway with an average daily traffic less than 750 requires 50 feet of setback.

6. The saw cut boundary for the eastern access should be made so as to not be in the flow of traffic. The saw cut should extend to the centerline. Final saw cut and asphalt patch limits shall be determined in the field by the City Construction Inspector.
7. The utility plans differ from the site and landscape plans as follows:
 - (a.) The utility plan does not demonstrate a sidewalk at the western access.
 - (b.) The utility plan depicts access ramps crossing both accesses.

Utility Plan Comments:

Cover Sheet:

8. Include the legal description below the project name on the cover sheet.
9. Reference the updated/current soils investigation report.

Replat; Sheet 2 of 4:

10. Date of preparation must be provided.
11. Label all adjoining properties.
12. Two(2) ties to section corners must be included.

Utility and Grading & Drainage Plan and Erosion Control Plan; Sheet 3 of 4:

13. Plans should show centerline of Midpoint Drive. The basin line should not depict the centerline.
14. Show all existing underground utilities including gas, electric, telephone, and cable on all utility plans.
15. To make the overall grading, drainage, and erosion control plan more clear submit it as a separate sheets.

P.D.P. Plan Comments:

16. The configuration of the access and all access ramps should be representative of the utility plan. See comment #7.
17. Show surrounding features for a minimum of 150 feet around the entire site.
20. Streets and/or driveways shall align with each other on opposite sides of a residential or collector street otherwise be separated by a minimum of 200 feet from the center. Distance

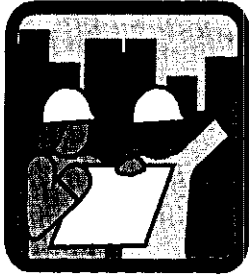
less than 200 feet must be verified as being adequate and supported with the traffic analysis.

21. The parking space setback along a two-lane collector roadway with an average daily traffic less than 750 requires 50 feet of setback.

Date: 8/3/98 Signature: *M.S. McCall*

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE



REVISION COMMENT SHEET

DATE: January 17, 2001

TO: Engineering

PROJECT: **#28-98 PROSPECT INDUSTRIAL PARK, LOT 32,
MIDPOINT SELF-STORAGE – PDP – TYPE I
(LUC)**

All comments must be received by **Steve Olt** in Current Planning
no later than the staff review meeting:

February 7, 2001

No Comment

Problems or Concerns (see below or attached)

****PLEASE IDENTIFY YOUR REDLINES FOR FUTURE
REFERENCE****

Prospect Industrial Park, Lot 32, Midpoint Self-Storage - PDP sheet 1 of 2 February 6, 2001

Letters of intent are needed for the two off-site easements (grading easement along the SE property line and the drainage easement for the drainage pipe) prior to this project being able to be scheduled for a hearing.

Since you are not planning to plat the property (still recommend a replat) dedication of easements and row will need to be done by separate document. ALL easements and row documents will need to be received prior to signing of mylars. Please note you are responsible for the county filing fees for all easement and row documents. The filing fee is \$5 per sheet and each easement is typically 4 sheets (do not pay this until we have determined how many pages there are).

List of easements and row documents that I am aware that you need: 1) row dedication; 2) 9 foot utility dedication behind row; 3) waterline easement through site; 4) emergency access easement through site; 5) drainage easement(s); 6) sewer easement through site; 7) off-site grading easement; 8) off-site drainage easement. Please let me know if you need sample documents.

Site Plan

- > The access drive needs to be a driveway cut per Section 3.6.2(L)(2)(e) of the LUC. This is shown correctly on the utility plans, but not on the site and landscape plans. With the driveway cut concrete to the property line needs to be provided.
- > The sidewalk between the building and the parking stalls needs to be a min of 6 feet wide.
- > Show a type III barricade at the end of the sidewalk improvements.

(continued on next page)

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat

Site

Drainage Report

Other

Utility

Redline Utility

Landscape

Date: 2/7/01

Signature: *S. Wambach*



City of Fort Collins

Utility Plans

1. Adjust the numbering for the general notes and make changes as shown.
2. Show the patch area in the street for the utility installation and the driveway installation.
3. Provide a type III barricade at the end of any sidewalk construction.
4. Label all existing and proposed easements on the plans.
5. What does the fence look like and how does the swale and v-pan go under it? Response to this was the fence was relocated and no longer crosses over the swale. Per the plans, the fence crosses the back swale twice and the drainage swale along the NW property line crosses under the fence. The fence is located differently on the site and utility plans.
6. On sheet 4 label "Future Sharp Point Drive".
7. Make changes to the driveway detail as shown.



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: October 27, 2000

TO: **Technical Services**

PROJECT: #28-98 Prospect Industrial Park, Lot 32,
Midpoint Self-Storage – PDP – Type II (LUC)

All comments must be received by ^{Troy Jones} ~~Steve Olt~~ in Current Planning no
later than the staff review meeting:

November 29, 2000

Note- Please identify your redlines for future reference

1. *PLAT CLOSED*
2. *This is not a subdivision plat. If a plat is required we will need to review it.*

Signature

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat Site Drainage Report Other _____

Utility Redline Utility Landscape





City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: October 27, 2000

TO: Engineering Pavement

PROJECT: #28-98 Prospect Industrial Park, Lot 32,
Midpoint Self-Storage – PDP – Type II (LUC)

All comments must be received by ^{Troy Jones} ~~Steve Olt~~ in Current Planning no
later than the staff review meeting:

November 29, 2000

Note- Please identify your redlines for future reference

No Comment

Rick Richter

Signature

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat Site Drainage Report Other _____

Utility Redline Utility Landscape





City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: October 27, 2000

TO: Engineering

PROJECT: #28-98 Prospect Industrial Park, Lot 32,
Midpoint Self-Storage – PDP – Type II (LUC)

All comments must be received by ^{Gray Jones}~~Steve Olt~~ in Current Planning no
later than the staff review meeting:

November 29, 2000

Note- Please identify your redlines for future reference

December 7, 2000

Prospect Industrial Park, Lot 32, Midpoint Self-Storage - PDP

Site Plan

- Need to show the emergency access drive through the property and show that it meets minimum radius requirements for PFA
- The access drive needs to be a driveway cut per Section 3.6.2(L)(2)(e) of the LUC.
- Show any curb cuts on the property across the street. Need to know if there are any conflicts with the proposed driveway location.
- Indicate what is existing sidewalk and what is new sidewalk.
- Does the 9-foot utility easement shown based on the additional 3 feet of row that needs to be dedicated?
- Don't show the curb return for the Sharp Point extension unless you plan on designing and building it.

Utility Plans

1. See updated general notes.
2. Need to show where the driveways adjacent and across the street are located. The drives need to align or be adequately offset.
3. Indicate the location of the driveway cut in relation to the property line.
4. The access drive needs to be a driveway cut per Section 3.6.2(L)(2)(e) of the LUC. Provide the driveway approach detail.
5. Indicate what is existing sidewalk and what is new sidewalk. Indicate the width and provide a type III barricade at the end of any sidewalk construction.
6. Provide a new plat or provide a copy of the existing plat as part of the plans. If you do not plat, you will need to dedicate the row and all necessary easements by separate document. I prefer you replat the property.
7. Label all existing and proposed easements on the plans.
8. What is the building set back from the new row?
9. What does the fence look like and how does the swale and v-pan go under it?
10. It would probably help if you indicated what is gravel, what is paved and what is landscape area on the grading plan.
11. Need off-site easements from the adjacent property for off-site grading and the drainage pipe.
12. Do not show the curb, gutter and walk for the Sharp Point extension. We do not know where it will be placed until the row is dedicated and the design completed. Since it is not included in this plan set I assume you are not designing it. Keep Sharp Point Drive (future) label.

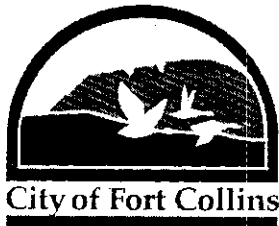
Corrections to the TIS that should be noted. The development of the adjacent lot **will** require the dedication of row for the extension of Sharp Point Drive. Midpoint Drive and Sharp Point Drive are designed for two travel lanes and **two bike lanes** not parking lanes. And the traffic study indicates that the intersections will function acceptably for the short term, but do not indicate how they will function for the long term.

Signature Shirley Blankenship

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

- Plat Site Drainage Report Other _____
- Utility Redline Utility Landscape





Project Comments Sheet

Selected Departments

Current Planning

DATE: June 3, 2001

(April 12, 2001)

PROJECT: PROSPECT INDUS.PARK, LOT 32, MIDPOINT SELF-STORAGE #28-98B

All comments must be received by STEVE OLT in Current Planning no later than the staff review meeting:

June 6, 2001

Note - Please identify your redlines for future reference

Dept: Engineering

5

Issue Contact: Sheri Wamhoff

Since you are not planning to plat the property (still recommend a replat) dedication of easements and row will need to be done by separate document. ALL easements and row documents will need to be received prior to signing of mylars. Please note you are responsible for the county filing fees for all easement and row documents. The filing fee is \$5 per sheet and each easement is typically 4 sheets (do not pay this until we have determined how many pages there are).

List of easements and row documents that I am aware that you need: 1) row dedication; 2) 9 foot utility dedication behind row; 3) waterline easement through site; 4) emergency access easement through site; 5) drainage easement(s); 6) sewer easement through site; 7) off-site grading easement; 8) off-site drainage easement. Please let me know if you need sample documents.

6

Issue Contact: Sheri Wamhoff

Label all existing and proposed easements on the plans. - haven't labeled the storm drainage easement along the southern boundary of the property, nor the emergency access easement through the property.

7

Issue Contact: Sheri Wamhoff

What does the fence look like and how does the swale and v-pan go under it? Per the plans, the fence crosses the back swale. The fence detail is on the elevations - how does the v-pan go under - Need a detail showing how it works and that the pan is not blocked - this should be on the utility plans.

8

Issue Contact: Sheri Wamhoff

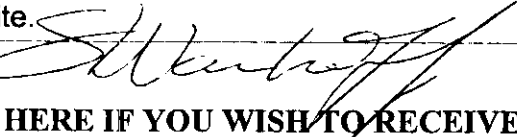
Fill out "information for development agreement sheet and return"

9

Issue Contact: Sheri Wamhoff

I have also attached a "Development Construction Permit (DCP) application" and brochure. The DCP will need to be issued prior to starting any work on the site.

Signature



CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

- Plat
- Site
- Drainage Report
- Other
- Utility
- Redline Utility
- Landscape



TO: Frank Fisch, Street Department
FROM: Marc Engemoen, Engineering Services
RE: Subdivision Utility Plans
DATE: 2-3-78

Submitted for your review and comment are utility plans for _____
PROSPECT INDUSTRIAL PARK

Please respond at your earliest convenience.

*No comments by
5-9-78
MEC*

Item # 71-81

Replat of Prospect Industrial Park

Comments

Developer Needs to Get Clearance from owner of Lot #12 (2001 SHARP POINT DRIVE OR 2619 CANTON CT.) AND ANY OTHER LOTS WHICH MAY BE SOLD TO ALLOW CITY TO VACATE TRACT "A". THIS WILL REQUIRE AN ORDINANCE.

WE WILL BE REQUIRING CERTAIN OTHER NORMAL ENGINEERING CHANGES WHICH WILL BE DIRECTED TO THE DEVELOPERS ENGINEER.

Dept. Comments subdivision / p.u.d. FINAL