

# PROJECT COMMENT SHEET

## Current Planning

DATE: February 8, 1999 TO: **Engineering**

PROJECT: #2-99 Advanced Energy, Buildings 7 & 8 – Final Plan (LUC)

All comments must be received by *Steve Olt* no later than the staff review meeting:

**Wednesday, March 3, 1999**

Advanced Energy, Buildings 7 and 8

March 8, 1999

- Provide the additional easements needed as identified by stormwater
- Please make the project name on the Title Sheet read "Advanced Energy, Buildings 7 and 8"
- Add Timberline Road plan and profile and striping sheet to the index and number it as sheet 9 of 13

On Timberline Road plan and profile and striping sheet.

- The design of Timberline and the right turnlane is not adequate
- For the asphalt pavement joint detail - the cut and additional pavement needs to be in accordance with the City of Fort Collins 'Street Repair and Reconstruction Standards and Guidelines'
- For including this sheet in this set - do not provide the storm sewer references or the Specht Point Road striping plan as this project will not be putting those improvements in.
- This page needs to be numbered as a part of this set of plans and labeled with this projects name and not Spring Creek Centers.
- For additional comments on this sheet see Traffic Operations comments (for advanced energy, buildings 7 and 8) dated 2/27/99 and comments from Tim Blandford on Spring Creek Center returned previously.

Date: 3/8/99 Signature: J. Wanhoff

### CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat       Site       Drainage Report       Other \_\_\_\_\_  
 Utility       Redline Utility       Landscape





City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: 1/14/99

DEPT: Engineering

PROJECT: Prospect East BP, Advanced Energy Bldg 7+8

PLANNER: Steve Olt

ENGINEER: Sheri Wamhoff

No Problems

Problems or Concerns (see below or attached)

Prospect East Business Park, Advanced Energy buildings 7 and 8

January 14, 1999

The Planing and Zoning Board conditioned this project with constructing a traffic control device to limit the left turns off of Midpoint Drive at Timberline Road. It has been determined by the City that this structure is to be a glue down pork chop in Midpoint Drive due to the inability to place a raised median in Timberline at this point in time.

Therefore this project needs to provide a design for the installation of the porkchop and associated improvements or wait for the approval and recording of utility plans for Spring Creek Center (which is currently working on a design) before the plans for this project can be approved and recorded. The design that Northern Engineering is working on could be included in this utility plan set.

No other comments on the utility plans.

Date: 1/14/99

Signature: *S. Wamhoff*

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE



City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: AUG 5, 98

DEPT: Engineering

PROJECT: PROSPECT EAST BP - ADVANCED ENERGY BLDING 7+8

PLANNER: STEVE OLT

ENGINEER: SHERI WAMHOFF

No Problems

Problems or Concerns (see below or attached)

Advanced Energy

August 5, 1998

- The access drive detail and additions to existing walks detail were deleted. Please put these back into the plans. Also provide Detail No. 4
- No place on the utility plans or on the site plan is there a note indicating that enhanced crossings need to be provided at the drive entrances. They are shown on the site plan, but a note should be provided some place.

Date:

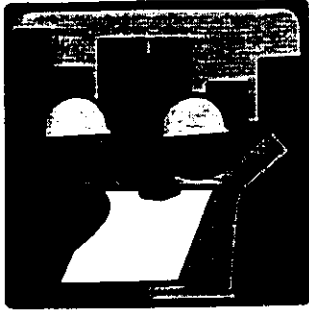
8/5/98

Signature:

S. WAMHOFF

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE



# REVISION COMMENT SHEET

DATE: December 24, 1997 TO: ENGINEERING

PROJECT: #44-84I Prospect East Business Park, Advanced Energy, Buildings 7 & 8 - Type II (LUC) PDP

All comments must be received by Steve Olt no later than the staff review meeting:

\*Wednesday, ~~January~~, 1998  
~~April~~, JUNE 17,

\*This is a priority processing project by directive of the City Manager.

*This item is scheduled for the June 18th PEZ Board hearing.*

Prospect East Business Park, Advanced Energy, Buildings 7 & 8

June 21, 1998

The easement documents have been received and are in the process of being reviewed.

No comments on the site Plan

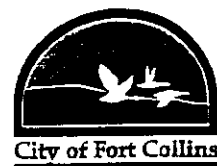
### Utility Plans

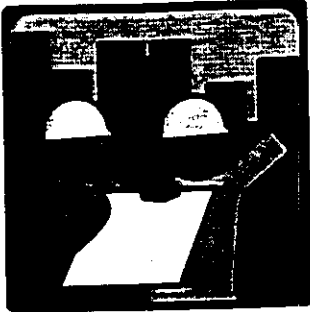
- Add the following note to the utility plans: Access drive is temporary until such time as March Ct is extended to Midpoint Dr.
- Shade the access pan off of Sharp Point Dr (like the others are) on the Grading and Drainage Plan. Also indicate the curb details shown on this sheet are for ON SITE work only.
- Provide NEW city standard ramp details D-12.3 and D-12.5. The old ramp detail shown can be used on site if desired, but must be labeled as such.
- Provide Detail No. 4 (doweling detail)
- Make changes shown to access drive detail.

Date: 6/21/98 Signature: S. Wankhoff

### CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat       Site       Drainage Report       Other  
 Utility       Redline Utility       Landscape





# REVISION COMMENT SHEET

DATE: December 24, 1997 TO: *Engineering*

PROJECT: #44-84I Prospect East Business Park, Advanced Energy, Buildings 7 & 8 - Type II (LUC) PDP

All comments must be received by ~~Steve Olt~~ no later than the staff review meeting:

*March*  
**\*Wednesday, ~~January~~, 1998**

*April 1,*

\*This is a priority processing project by directive of the City Manager.

Prospect East Business Park - Advanced Energy Site Plan

April 1, 1998

- Add the following note to the site plan and utility plan: Access drive is temporary until such time-as March Ct is extended to Midpoint Dr.
- Show where the sidewalk exists on Sharp Point Drive.
- Need letters of intent for all offsite easements prior to the project being taken to the board.
- Will need all easements before final plans will be signed - these can be turned in at any time for us to check the legal description and format. A sketch is needed with each easement.
- What is the intended truck pattern thru the site now with the change in building layout? If trucks are intended to go thru the parking lot and out the south drive than they can not make the turn in the parking lot. If this is not the intended route than the southern access point should be changed back to having 15 foot radii. (For the northern access point it appears that a 20 foot radius would be adequate)
- Minor amendment in needed for the site to the north for the modification to the parking lot to provide for the cross access and island changes.

(Continued on next page)

Date: 4/1/98 Signature: *S. Wankoff*

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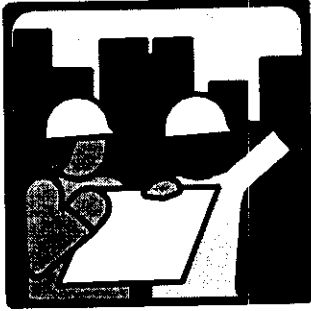
Plat       Site       Drainage Report       Other \_\_\_\_\_  
 Utility       Redline Utility       Landscape



April 1, 1998

#### Utility Plans

- The existing plats need to be a part of the final utility plans (they were included in the index in the previous submittal).
- Add the following note to the site plan and utility plan: Access drive is temporary until such time as March Ct is extended to Midpoint Dr.
- Need letters of intent for all offsite easements prior to the project being taken to the board.
- Will need all easements before final plans will be signed - these can be turned in at any time for us to check the legal description and format. A sketch is needed with each easement.
- Show where the sidewalk exists on Sharp Point Drive.
- What is the intended truck pattern thru the site now with the change in building layout? If trucks are intended to go thru the parking lot and out the south drive than they can not make the turn in the parking lot. If this is not the intended route than the southern access point should be changed back to having 15 foot radii. (For the northern access point it appears that a 20 foot radius would be adequate)
- Minor amendment in needed for the site to the north for the modification to the parking lot to provide for the cross access and island changes.
- 100 year swale section - is this typical all thru the parking lot? Is there a concrete pan down the center? What is the water level elevation? Indicate the property line location.
- Provide NEW city standard ramp details D-12.3 and D-12.5. The old ramp shown can be used on site if desired but must be labeled as such.
- Provide detail No. 4 (doweling detail)
- Make changes shown to access drive detail.
- See plans for additional comments.



# REVISION COMMENT SHEET

DATE: December 24, 1997 TO: **Engineering**

PROJECT: #44-84I Prospect East Business Park, Advanced Energy, Buildings 7 & 8 - Type II (LUC) PDP

All comments must be received by Steve Olt no later than the staff review meeting:

**\*Wednesday, January 7, 1998**

\*This is a priority processing project by directive of the City Manager.

Prospect East Business Park, Advanced Energy Building 7 & 8 January 9, 1998

- The one-way access from the liberty commons site will not be allowed. This drive should be modified so that it connects into the parking lot where a two way drive can be provided. The access as shown is too close to the property line and too close the adjacent access.
- Entrance radii for the access drives shall be 15 foot.
- Provide distances from the property line to the centerline of the drives.
- Provide an pedestrian/access easement adjacent to midpoint on Lot 23. This is needed for the sidewalk.
- Drainage easements are needed across the site and off site?. Letter of intent for any off site easements is needed prior to the project being scheduled for hearing.
- I believe that a minor amendment is needed on the adjacent advanced energy site for the elimination of 4 parking spaces and the addition of the landscaped median to provide for the cross access.
- The access drive detail should be modified as shown.
- provide ramp details D12.3 or D12.5 for the detached sidewalk on Midpoint.
- Provide a ramp detail for the ramps at the entrance drive on Sharp Point.
- See Plans for additional comments.

Date: 1/9/98 Signature: *S. Winickoff*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

- Plat       Site       Drainage Report       Other \_\_\_\_\_  
 Utility       Redline Utility       Landscape



Access is required for these  
to check Access points of existing templates  
at all vehicles





City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: November 18, 1997 TO: **Engineering**

PROJECT: #44-84I Prospect East Business Park, Advanced Energy Building 7 & 8 - Type II (LUC) PDP

All comments must be received by Mike Ludwig no later than the staff review meeting:

**Wednesday, December 17, 1997**

Prospect Business Park Advanced Energy Building 7 & 8

December 19, 1997

- In meetings we had prior to the submittal the applicant was told that the access points on the adjacent lots would need to be shown on the plans, in order evaluate the locations of the proposed drives. This has not been shown on the site or utility plans provided. By reviewing the soils report and looking at the site plan that is in that document Lot 22 (the lot to the south of the project on Midpoint Drive) has a driveway access point on the north side of this lot. If that is the case than there is a real concern regarding the location of the drive from the back of Liberty Commons. A plan to scale is needed showing all existing and proposed access points in order to determine if the southern access drive will be allowed.
- How does this southern access drive tie into the Liberty commons site? How is this to function what striping and signage is being proposed?
- Will need to provide copies of the easement agreements with the county reception numbers at the time of final compliance submittal.

#### Site Plan

- Label sidewalk and parkway widths.

#### Plat

- No plat was received for review.

(Continued on next page)

Date: Dec 19, 97

Signature: S. K. Campbell

#### CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat

Site

Drainage Report

Other \_\_\_\_\_

Utility

Redline Utility

Landscape



City of Fort Collins

### Utility Plans

- Provide dimensions to Centerlines of the driveways from the property line - need to locate them.
- ✓ Label the parkway width (8 feet) and the sidewalk width (5 feet). The maximum radius for the sidewalk is 60 foot centerline radius. This needs to be shown on the plans.
- Need easements for all work out side of the property line. Even with the access agreements we still need a temporary construction easement for the work to occur.
- Need to provide the new ramp detail for the detached sidewalk ramps. Also nee a detail of the ramp for the access drive on Sharp point.
- Make necessary changes to he access drive detail. I don't believe that all the access drives are the same widths and it doesn't appear that they all have the same radii. For the access drive on sharp point a control joint will need to be placed at the back of the sidewalk in the drive.
- Make sure all details are readable.



City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: November 18, 1997 TO: **Engineering Pvmnt**

PROJECT: #44-84I Prospect East Business Park, Advanced  
Energy Building 7 & 8 - Type II (LUC) PDP

All comments must be received by Mike Ludwig no later than the staff  
review meeting:

**Wednesday, December 17, 1997**

*No Comment*

Date:

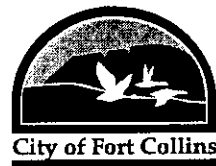
*12-29-97*

Signature:

*[Handwritten Signature]*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

<input type="checkbox"/> Plat	<input type="checkbox"/> Site	<input type="checkbox"/> Drainage Report	<input type="checkbox"/> Other _____
<input type="checkbox"/> Utility	<input type="checkbox"/> Redline Utility	<input type="checkbox"/> Landscape	



City of Fort Collins



City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: 29 March 1995

DEPARTMENT: MAP / Jim

PROJECT: ADVANCED ENERGY - IL/IP Site Plan Review,  
Minor Subdivision

PLANNER: Steve Olt

All comments must be received by: Wed., 12 April 1995

No Problems

Problems or Concerns (see below)

\* THERE IS NO DEDICATION STATEMENT.

\* " + " WITH NAIL SET IN WALK DOES NOT MEET STATE LAW.

\* PLEASE SHOW CHORD BEARING & DISTANCE ON ALL CURVES

\* IF THE CONTROL SHOWN (SECTION CORNERS & QUARTER CORNER) ARE USED, THEY MUST MEET STATE REQUIREMENTS.

\* NO CLOSURE CHECKED AS THE OUTER BOUNDARY BEARING & DISTANCES ALONG THE NORTH SIDE IS SHOWN WRONG.

\* THERE IS NO WAY TO LOCATE THE TWO 20' UTILITY & DRAIN EASEMENTS AND THE TWO 25' ACCESS EASEMENTS.

Date: \_\_\_\_\_ Signature: \_\_\_\_\_

CHECK IF YOU WISH TO RECEIVE  
COPIES OF REVISIONS:

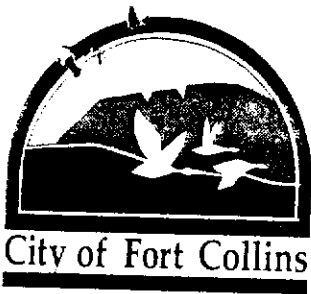
- PLAT
- SITE
- LANDSCAPE
- UTILITY

**ADVANCED ENERGY - IL/IP Site Plan Review, Minor Subdivision**

Storage or use of hazardous materials must be in compliance with the Fire Code and Chapter 9 of the 1991 Uniform Building Code as adopted by the City of Fort Collins. A list of such materials with quantities and Uniform Fire Code classifications should be submitted for review at the time of building permit application.

The site shall be accessible to persons with disabilities in accordance with Uniform Building Code Section 3103 and UBC Appendix Section 3106. Provide designated and marked accessible routes between buildings and the public way and accessible parking and the buildings. Provide parking and signs per Appendix Section 3107. Parking spaces, signage, and accessible routes shall comply with the American National Standards Institute publication A17.1-1992 titled **Accessible and Usable Buildings and Facilities**.

Sharon Getz  
Building Inspection  
221-6760



April 24, 1995

Linda Ripley  
Ripley Associates  
223 Jefferson Street, Suite A  
Fort Collins, CO. 80524

Dear Linda,

Staff has reviewed your documents for the **Replat of Lots 3, 4, 11, and 12 of the Prospect Park East P.U.D. (Minor Subdivision)** and the **Advanced Energy IL/IP Site Plan Review** that were submitted to the City on March 27, 1995, and would like to offer the following comments:

1. The following comments were received from **Public Service Company**:
  - a. Utility easements adjacent to rights-of-way need to be such that from the back of walk to the rear line of the utility easement there is a minimum of 13'.
  - b. No trees can be planted within 4' of gas lines.
2. A copy of the comments received from the **Mapping/Surveying Department** is attached to this letter.
3. The following comments were received from the **Zoning Department**:
  - a. The Site Plan appears to show 267 parking stalls, as opposed to the 269 indicated by note.
  - b. You need to show parking stall widths. A minimum 8.5' width is required under the alternative long term plan.
  - c. A minimum 5' setback is required between parking and the lot line. A portion of the east side, at the southeast corner, measures 4' in width.
4. A copy of the comments received from the **Building Inspection Department** is attached to this letter.
5. Comments received from the **Water/Wastewater Department** are on a red-lined copy of the Landscape Plan that has been forwarded to Ripley Associates.

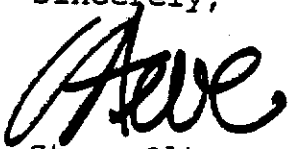
6. Comments received from the Engineering Department are on a red-lined copy of the Site Plan that has been forwarded to Ripley Associates and red-lined utility plans that are being forwarded to Park Engineering Consultants.
7. In the City of Fort Collins Parking Lot Development Guide [Sections B. (2)(3)] it states that: "For non-residential uses, trees should generally be provided in number equal to 1 tree per 25 lineal feet along a public street"; and, that "the zoning ordinance requires parking lots with six or more spaces to be screened from the streets. Screening from the street must be of sufficient height and opacity to block at least 20% of the cross section view of the parking area from the street." This requirement does not appear to be met along Prospect Park Way and the short section in the southeast corner along Midpoint Drive.

Comments have not yet been received from the following departments of the City:

- Stormwater Utility
- Park Planner
- Natural Resources
- Police
- Advance Planning
- R.O.W. Agent
- Transfort

Revisions to the plans, addressing the comments expressed in this letter, should be returned to the appropriate City departments as soon as possible so that an administrative public hearing before the Planning Director can be scheduled for these two items. Please contact me at 221-6750 if you have questions about these comments.

Sincerely,



Steve Olt,  
Project Planner

cc: Sheri Wamhoff  
Stormwater Utility  
Transportation  
The Neenan Company  
Park Engineering Consultants  
file/Project Planner





ITEM: Prospect Park East 44-84  
Master Plan

## COMMENTS

1. Spring creek floodway must be shown -  
no klets permits allowed w/o variance
2. Vacation of Broken Point, <sup>and other segments</sup> + renaming of portion of mid pt.  
mid point are processed separately -  
we need the info ASAP.
  1. letter request
  2. legal desc. (for vacations)
  3. 8 1/2 x 11 map.
3. Lot 4 will be landlocked.

TO: Bob Smith, Assistant City Engineer - Drainage  
FROM: Bonnie Tripoli, Development Coordinator  
RE: Subdivision Utility Plans  
DATE: 7-6-84

Submitted for your review and comment are utility plans for

PROSPECT PARK EAST POD

Please respond by

7-20-84

PBW: 7/13/84

- Utility plan can be approved, however those lots located within the floodway cannot have building permits w/o a variance from the Planning Board. 5/10
- Need to see meet sizing canal and street capacity water.
- Some should not be allowed. Need culverts under road instead. 10 year design flow for culverts and inlet and street capacity.
- Does drainage report done in 1981 still apply? Need statement indicating so.

Need to address detention. Is developed runoff being detained? If not is there an adequate outfall to the pond. Who owns that land. Will an agreement be reqd.?

Need to address how pond will effect drainage routing

# CITY OF FORT COLLINS

OFFICE OF PLANNING AND DEVELOPMENT

July 18, 1984

Mr. Roger Thorp  
Thorp Associates  
PO Box 129  
Estes Park, CO 80517

Dear Roger,

The staff has reviewed the application for Master Plan and preliminary/final PUD approval of the Prospect East Business Park and offers the following comments:

## MASTER PLAN COMMENTS

1. The Master Plan should include a more defined set of land uses being proposed rather than "high tech business park". Please revise Master Plan.
2. The land use data should include acres as well as square feet. Please revise.
3. The land use data is unclear as to what is meant by "public development"? Please clarify.
4. The phasing of public improvements and future phases of development should be included on the Master Plan. Please revise.
5. The Master Plan should include the attorney's certification block.
6. The Master Plan includes too much detail. Please delete from the site plan all lot lines, parking and building detail. The land use data on the Master Plan should be for the total site rather than including the Phase 1 information. This comment also applies to the "notes". The Master Plan should note that final architectural design of buildings will address consistency among building treatment to provide a uniform, well planned appearance.
7. The Master Plan should reflect that combined curb cuts will be pursued between lots. Location of curb cuts will be determined by intensity of use, design and City standards. Please note this on site plan.



OFFICE OF PLANNING  
AND DEVELOPMENT

300 LaPorte Ave. • P.O. Box 580 • Fort Collins, Colorado 80522 • (303) 221-6750

8. The soils report does not give design information for Specht Road nor Sharp Point Road. Please provide this additional information as soon as possible.
9. The staff questions the desirability from a public standpoint of prematurely installing the extensive amount of streets as planned. Unused streets can present serious problems to the City. Please provide evidence to justify proposed public improvement phasing schedule.
10. The Spring Creek floodway should be shown on the Master Plan. No building permits will be issued in this area that does not meet city requirements. The Spring Creek overflow floodway will create major problems for future development. Variances will need to be sought from the Storm Drainage Board for issuance of building permits in this area. The applicants will need to submit an information package to FEMA to get flood maps amended.
11. The Master Plan should include a note that "individual PUD site plans and other supporting data will be submitted to the Planning and Zoning Board for approval for future phases of development in the Master Plan area per PUD regulations".

#### PRELIMINARY/FINAL PLAN COMMENTS

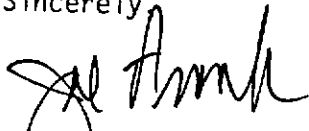
12. In earlier discussions, it was my understanding that a master plan would be submitted for the entire site. The required first phase would consist of the Advanced Energy project, major street improvements, and landscape plan for public streets and greenbelt, including a subdivision plat for the entire property. The preliminary/final site plan as submitted is unclear as to what exactly the City is approving. Please clarify.
13. The Advance Energy Phase should be on a separate sheet at a scale consistent with the site plan recently approved by the Planning staff. This plan should include the required detail for parking lot and building dimensions, widths of open space areas, setbacks, curb cut widths, etc. Also, a detailed landscape plan for this phase of development will be required.
14. The title of the preliminary/final site plan should be either First Phase of Prospect Park East or Lots 3 and 4 of Prospect Park East.
15. The sidewalks along the public streets should be located in the ROW where possible. If not possible or desirable, access easements should be provided. The sidewalks appear to meander more than necessary. Excessive meandering creates maintenance problems as well as problems for bicyclists. Please eliminate excessive meandering of sidewalks.
16. All existing and proposed utility easements should be shown on the preliminary/final site plan. Fifteen (15) foot utility easements along Prospect Road and 8 foot utility easements along all other public streets will be required.

- deduction*
17. The vacation of any unneeded ROW or utility easements will need to be done by a special instrument. Vacation information for these ROW or easements should be submitted as soon as possible to the Development Center for processing. The information should include a letter requesting the vacation; legal description of the vacation, and; 8½" X 11" map indicating the area of the vacation. Vacations will need to be approved by the City Council.
  18. All curb cuts should be located at least 200 feet apart from one another. Also, all parking aisles and spaces should be setback a minimum of fifty (50) feet from the flowline of public streets at curb cuts. Applicant should provide evidence to justify the plan design.
  19. The entrances to the Advanced Energy parking lot should be designed as curb cuts rather than curb returns. Please revise.
  20. The parking lot of Advanced Energy should provide for future pedestrian and vehicular connects to future development in Lots 5, 6, 11, and 12. Please revise site plan.
  21. The curb cut locations would appear to conflict with the location of landscaping on the overall street planting plan. Please clarify.
  22. The Spring Creek Floodway should be shown on the preliminary/final site plan.
  23. Access easements will need to be provided across all parking lots.
  24. There appears to be some water supply problems in the area that could seriously impact the development of the properties within the Master Plan area.
  25. A repay exists on the 16" waterline that was installed by the developers of the Seven Lakes Business Park.
  26. The site plan should indicate the radii of parking lot which would enable the maneuvering of fire equipment. The location of the sprinkler connection that was approved previously on the Advanced Energy Building will need to be shifted. Please locate this connection on the site plan.
  27. A new note should be added to the site plan indicating that the Advanced Energy building will be equipped with automatic fire extinguishing systems.
  28. The preliminary/final site plan should indicate location of motorcycle, bicycle, and handicapped parking spaces. The "small car" spaces will need to be signed for "employees only". Please indicate this on site plan. 17' staff lengths on regular sized spaces also should be used on 6' sidewalks or adjacent to open space/landscape areas.

29. At least four additional parking islands should be provided along the south property line of the Advanced Energy site.
30. The preliminary/final site plan should provide for pedestrian circulation between the site and future adjacent development and between the site and the recreation trail.
31. The preliminary/final site plan should include detailed evidence as to how the site and building reduce energy use.
32. Exact building height of the Advanced Energy phase should be indicated on the site plan.
33. The preliminary/final site plan should indicate sidewalk treatment between building and surrounding public street system. Also, special pavement treatment should be provided in high use pedestrian crossing areas in parking lot.
34. Trash areas and unloading/loading areas should be indicated on the site plan including screening treatment thereof. Parking and building lighting should be shown.
35. Is there going to be any hazardous waste materials stored on the site. If so, please indicate nature of storage and removal procedures.
36. The plant sizes as listed on the landscape plan do not appear to conform to the City's minimum requirements. Please revise to meet these requirements.
37. The plant list should be revised to include the number of plantings anticipated. Also, the plan should indicate a key to shrub variety locations.
38. The landscape plan should be re-evaluated in terms of providing more formality of street tree plantings.
39. The landscape plan should be coordinated with the approved landscape plan for Advance Energy.
40. The subdivision plat should indicate location of potential combined curb cuts, including dedication of access easements for this purpose.
41. On Monday, August 20, 1984, 8½" X 11" PMT reductions of all plans and elevations should be submitted. Also, on that date, signed mylars of the master plan, preliminary/final PUD plan, subdivision plat and building elevations should be provided. A signed copy of the Site and Landscape Covenants should also be submitted. Colored renderings of the master plan, preliminary/final site plan and building elevations should be provided on August 20, 1984.

I would recommend we meet as soon as possible to discuss the above comments. Revisions to the plans should be submitted no later than Friday, August 10, 1984. If you should have any questions, please feel free to call me.

Sincerely



Joe Frank  
Senior City Planner

JF/kb

CC: Bonnie Tripoli, Development Coordinator



DATE

DEPARTMENT

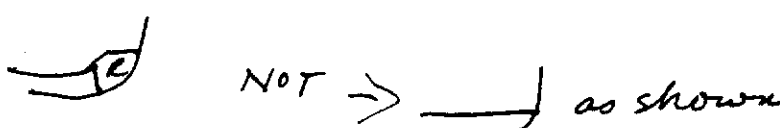
ITEM: Prospect Park - M.P. + 1<sup>st</sup> Phase final  
REVISIONS

COMMENTS (please return comments  
by 9/14/84)

1. Need easement for offsite drainage  
→ possible slope easement.
2. South parking for first phase is  
long dead end parking
3. Notes regarding "vacated easements + ROW" should  
read to be vacated
4. Curb return on ~~lower~~ southern curb cut to  
have 20' radii
5. Need drainage plan for phases
6. City will not contribute to oversizing  
any interior walks along sts.

ITEM: Lots 13, 14, 15 & 16 - Project Park East I-L Site Plan Review - #44-84D

COMMENTS

- 1. Slow handicap ramps at corners
- 2. Sidewalk at curb returns to meet city std ie 

- 3. Cannot finish review for following reasons
  - 1. Utility plans are not on file - have not been signed.
  - 2. Plat has not yet been filed.

January 25, 2007

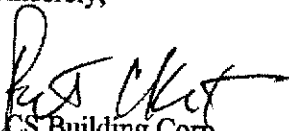
City of Fort Collins  
Engineering – Development Review  
281 North College Avenue  
Fort Collins, Colorado 80522

RE: Letter of Intent for Slope Easement  
Lot 19, Prospect Industrial Park (Holsinger Drywall)

To Whom It May Concern:

Liberty Common School has been made aware that a certain amount of grading is needed on our site (Lot 6, Prospect Industrial Park) for the development of the above project. It appears that this construction will not adversely impact our property, and we feel that it will be possible to negotiate and dedicate a 2' wide Slope Easement adjacent to the project prior to the approval of the Final Development Plans.

Sincerely,

  
LCS Building Corp.  
Peter Kast, President  
1725 Sharp Point Drive  
Fort Collins, Colorado 80525