



REVISION COMMENT SHEET

DATE: May 13, 1999

DEPT: **ENGINEERING**

PROJECT: The Preserve Apts. – Phase 2

All comments must be received by Mark McCallum no later than the staff review meeting:

Wednesday, May 12, 1999

General Comments:

- ◆ A copy of the off-site construction easement filed at the County is required before the Engineering Department will sign the utility plan mylars.
- ◆ The handout attached to this letter has some additional information that should be added to the Final Plat.
- ◆ Please check all access ramps within the R.O.W. The mid-block crossing access does not appear to be correct for it does not extend to the street.

Process Remaining:

- 1 Mylars - Utility, Site, Landscape, and Plat. The Site, Landscape, and Plat mylars go to Steve Olt in the Current Planning Department.
2. Development Agreement - At this point I am determining if this is needed.
3. Development Construction Permit (DCP) - I have enclosed a brochure that explains the DCP process. Also enclosed is the DCP Application. Please note that the DCP Meeting will not occur until the mylars have been received for signatures and the development agreement is in draft form.

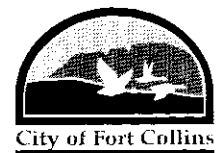
Date: 5/13/99

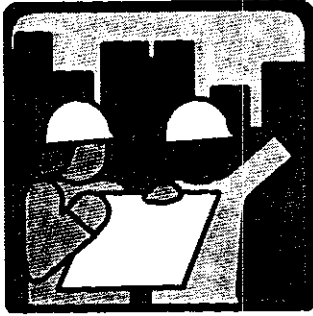
Signature: *[Handwritten Signature]*

Please send copies
of marked revisions

- Plat Site
 Utility Landscape

NO COMMENTS -- SUBMIT MYLARS





REVISION COMMENT SHEET

DATE: January 28, 1999 DEPT: **Engineering**
PROJECT: #146-79T The Preserve Apts., Phase II-P/F LDGS
PLANNER: Steve Olt
ENGINEER: Mark McCallum

All comments must be received no later than the staff review meeting:

- No Problems
 Problems or Concerns (see below or attached)

All Plans and Supplements Included:

- ① Utility Plan
- ② Site Plan
- ③ Landscape Plan
- ④ Proposed Plat Language

General Comments:

- See redline comments on all sheets of the utility plan. More specific comments will be mentioned below.

Utility Plan Comments:

Replat of Tract G (Raintree Com. P.U.D. Phase II):

- The following should be included as shown by redlines on the utility plan:
 - ROW dimensions
 - Sight distance easement
- The Notes should include a comment about the 10-foot utility easement and the sight distance easement.
- The City has "new" plat language that should be incorporated onto the plat. I have attached a copy of the new language for reference.
- The off-site construction required for the driveway approaches will have to be built within a temporary construction easement. These easements will need to be coordinated between property owners and filed at the County. The City will need a copy of the easement agreement for record. If there are any questions give me (Mark McCallum) a call at 221-6605.



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 17 November, 1998

DEPT: Engineering

PROJECT: #146-79T The Preserve, Phase II-Final P.U.D. (LDGS)

PLANNER: Steve Olt

ENGINEER: Mark McCallum

All comments must be received by: 12/16/98

No Problems

Problems or Concerns (see below or attached)

All Plans and Supplements Included:

- ① Utility Plan
- ② Site Plan
- ③ Landscape Plan
- ④ "Street Repair and Reconstruction Standards and Guidelines"
- ⑤ General Notes Handouts

General Comments:

- See redline comments on all sheets of the utility plan. More specific comments will be mentioned below.
- A soil investigation report should be submitted.

Utility Plan Comments:

Cover Sheet; Sheet 1 of 11:

- Reference the current soils investigation.
- The General Notes should be revised with the help of the General Notes Handout.
- Provide the date under the Title (MM/YR)

Replat of Tract G (Raintree Com. P.U.D. Phase II:

- The following should be included as shown by redlines on the utility plan:
 - ROW dimensions
 - Vicinity map
 - Sight distance easement
 - Legal description
- The Notes should include a comment about the 10-foot utility easement and the sight distance easement.

Utility Plan; Sheet 3 of 11:

- Include a note pertaining to polywrapping of D.I.P.
- Show the size and location of existing and proposed water facilities for the following: Taps, fittings, and valves. Also, show all curb stops and thrust blocks.
- Show the length of pipe between all fittings and valves.
- For the sanitary sewer show the type of pipe and manhole numbering.
- See the "Street Repair and Reconstruction Standards and Guidelines" for street cuts. It will give some guidance as to where and how the cuts should be made and repaired.

Grading Plan; Sheet 4 of 11:

- Show existing curb and gutter at the southern access.
- Provide top-of-wall elevations for the retaining wall.

Storm Drain Plan and Profiles; Sheet 6 of 11:

- Indicate the type of curb and gutter that is being used.

Street and Pavement Details; Sheet 8 of 11:

- Modified intersection detail to provide criteria for a driveway or use the standard driveway detail.
- Modify the directional access ramp detail to adequately suit what is being proposed. The area does not have highback curbs for which this is based.
- The access ramp details between the site plan and utility plan do not match. Although they both show painted cross-walks, the site plan appears to have a more elaborate detail than the utility plan.

Horizontal Control; Sheet 10 of 11:

- The parking stall dimensions with a walk less than 6 feet should be 19 feet in length. A 17-foot parking stall length with a two-foot overhang does not retain enough sidewalk width.
- The detail for the southern access point is lacking. Show all proposed and existing curb and gutter as well as elevations (i.e. for the area around the retaining wall). The redlined comments made on the utility plan were before this comment. I think we can come to an agreement on the detail of both access points (especially the southern access) if and when we receive more detail.
- Include note indicating the type of curb and gutter installed, and for the easement arrangement.
- Show sight distance line.
- Provide ROW dimensions.

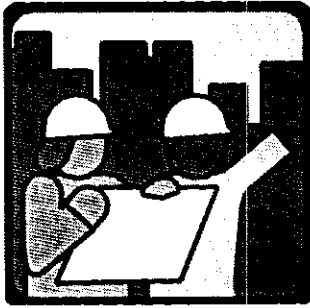
Site and Landscape Plans:

- Is there going to be a sidewalk connection to the north of the optional basketball court?
- The crosswalk detail appears more enhanced than what is shown on the utility plan.
- How does Phase II of the Preserve connect across Raintree Drive to the existing Preserve?
- The parking stall dimensions with a walk less than 6 feet should be 19 feet in length. A 17-foot parking stall length with a two-foot overhang does not retain enough sidewalk width.
- As noted above the southern access point needs to show more detail. Also, the site and utility plan should be consistent with one another.
- The area within sight distance easements is restricted to the following:
 - Fences shall not exceed 42" in height and shall be of open design. If fences exceed 32" in height, they shall be constructed of split rail with a minimum dimension of 12" between horizontal members.
 - Berms, hedges, and shrubs shall not exceed 32" in height.
 - Tree planting shall be restricted to deciduous trees only. The lowest branch of any tree shall be no less than 42" from grade.

Date: 12/18/98 Signature: [Handwritten Signature]

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE



REVISION COMMENT SHEET

DATE: November 9, 1998 DEPT: **Engineering**
PROJECT: #46-79S The Preserve Apts., Phase II-Preliminary
LDGS
PLANNER: Steve Olt
ENGINEER: Mark McCallum

All comments must be received no later than the staff review meeting:

All Plans Included:

1. Utility Plan Sheets
2. Preliminary Plat
3. Site Plan
4. Landscape Plan

General Comments:

- ❑ See redline comments on all sheets of the utility plan. More specific comments will be mentioned below.

Grading Plan; Sheet C1:

- ❑ Provide details for concrete pan, access ramps, and retaining wall.
- ❑ The parking stall dimensions with a walk less than 6 feet should be 19 feet in length. A 17-foot parking stall length with a two-foot overhang does not retain enough sidewalk width.

Utility Plan; Sheet C3:

- ❑ Show the sidewalk culvert detail.
- ❑ Represent the type-of-pipe for all service lines.
- ❑ Provide a note that describes the blanket easement for the development. As well as all other easements.

Preliminary Plat; Sheet C4:

- ❑ The plat should depict the sight distance easements and utility easements along Raintree Drive.

Site Plan:

- Is there going to be a sidewalk connection to the north of the optional basketball court?

Landscape Plan:

- The area within sight distance easements is restricted to the following:
 - Fences shall not exceed 42" in height and shall be of open design. If fences exceed 32" in height, they shall be constructed of split rail with a minimum dimension of 12" between horizontal members.
 - Berms, hedges, and shrubs shall not exceed 32" in height.
 - Tree planting shall be restricted to deciduous trees only. The lowest branch of any tree shall be no less than 42" from grade.

Date: 11/24/98 Signature: *[Handwritten Signature]*

Please send copies of marked revisions

Plat Site
 Utility Landscape





City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 19, August 1998 **DEPT: Engineering**

PROJECT: #146-79S The Preserve Apts. Phase II, Raintree Master Plan (LDGS)
Preliminary

PLANNER: Steve Olt

ENGINEER: Mark McCallum

All comments must be received by: 08/19/98



No Problems

Problems or Concerns (see below or attached)

General Comments:

In general, the proposed development is in the preliminary stages of review and as a result more detailed plans will need to be obtained in order to adequately review the ability of this proposed site to function with the surrounding area.

- note: More specific comments are mentioned below.

Utility Plan Comments:

1. Show surrounding features for a minimum of 150 feet around the entire site. This would include but is not limited to: all streets, sidewalks, existing parking lots, sanitary sewers, water mains, and storm sewers.
2. The centerline of the proposed primary access on Raintree Drive should align with the centerline of existing access road across Raintree Drive.
3. The area redlined along the eastern property boundary on the utility plan should correspond to the site plan. The two plans are conflicting in potential use, as well as, they both do not clearly demonstrate how/where the sidewalk terminates/extends.

4. The driveway near the trash enclosure is too narrow for a fire access lane. It must be a minimum of 20 feet.
5. The landscape plan and utility plan depict a 20 foot sewer easement along the southeastern boundary. The site plan depicts a 25 foot sewer easement adjacent to the southeastern property boundary. The plat does not demonstrate either.
6. A detail sheet should be submit with reference being made to all details used throughout the utility plan.
7. Provide an area for the signature block on all sheets. The area should measure 3.5"X4.5".
8. The curb return radii dimensions should be indicated for the private driveways/accesses. The City standards for curb return dimensions for a private driveway/access is a minimum of 15 feet. Also provide the dimensions for all accesses.
9. A clarification of easements needs to be completed on the plat and at the time of next revisions all easements must be clearly labeled on the utility plan sheets.
10. Show the point of curvature elevations for the access along Raintree Drive. See redlined marks at the access depicting all required elevations.
11. For the existing and proposed sanitary sewers depicted on the utility plan additional information should be provided such as the invert and top-of-pipe elevations, manhole numbering, type of pipe, and slopes of pipe. This should be done for all water services, as well.
12. Provide a flowline curve data table including curve label, radius, angle, arc length, and tangent length for Raintree Drive.
13. Plan must show complete horizontal street alignment including but not limited to: ROW dimensions, access ramps, and indication of all locations of outfall curb and gutter and where transitions occur back to inflow curb and gutter.

Plat:

14. The legal plat from the City files designates the entire Tract "G" from the Raintree Master Plan as a drainage, access, and utility easement, except the portion along Raintree Drive for the entire property frontage which is a 10 foot utility easement. The preliminary plat submitted does not designate Tract "G" in this way. This will need to be clarified.
15. It might be in the best interest of the developer to replat the tract. See the redlined comments on the preliminary plat for a replat option. Another replat option might designate the entire tract of land as a drainage, utility, and access easement except the building pads.

16. The date of preparation should be included.
17. Two (2) ties to section corners should be included.
18. Include an attorney's certificate that complies with the City's standards.
19. Provide statement(s) of ownership and maintenance of all tracts.
20. Include a certificate by the surveyor as to the accuracy of the survey of the plat.

P.D.P. Plan: Site and Landscape Plan Comments:

21. Both the site and landscape plans do not represent the proposed storm water facilities depicted on the utility plan. In particular, the 15" RCP pipe from the optional basketball court running through the parking lot with its outlet in the open area between the buildings. As well as the 15' RCP that conveys water along Raintree Drive. Also, they do not show the cross pans conveying water throughout the parking lot.
22. See comments 2,3,4,5,7,9 & 10. Also see redlined comments on both the site and landscape plans.

Date: 8/18/98

Signature: *MS McGowan*

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: July 16, 1998 TO: *Eng. Pvmt.*

PROJECT: #146-79S The Preserve Apts. Phase II, Raintree
Master Plan - LDGS Preliminary

All comments must be received by Steve Olt no later than the staff
review meeting:

Wednesday, August 19, 1998

No comment

Date:

8-23-98

Signature:

[Handwritten Signature]

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat Site Drainage Report Other _____
 Utility Redline Utility Landscape



City of Fort Collins