

PROJECT COMMENT SHEET

DATE: 1 Dec 92 DEPARTMENT: USWest

ITEM: 60-92 GILSDORF GARAGE EXPANSION
Non-Conforming Use

Please respond to this project by Friday, December 15, 1992

Planner: Steve Olt

No Problems

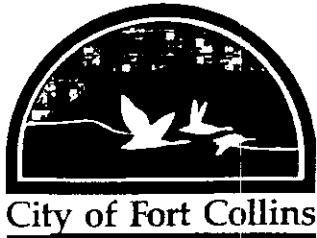
Problems or Concerns (see below)

Date: 12-04-92

Signature:

CHECK IF REVISIONS REQUIRED:

- | | |
|--------------------------|-----------|
| <input type="checkbox"/> | PLAT |
| <input type="checkbox"/> | SITE |
| <input type="checkbox"/> | LANDSCAPE |
| <input type="checkbox"/> | UTILITY |



PROJECT COMMENT SHEET

DATE: 1 Dec 92 DEPARTMENT: PUBSVC

ITEM: 60-92 GILSDORF GARAGE EXPANSION
Non-Conforming Use

Please respond to this project by Friday, December 15, 1992

Planner: Steve Olt

X

No Problems

Problems or Concerns (see below)

Date:

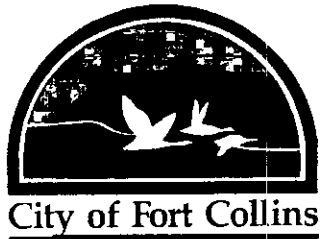
12/3/92

Signature:

Jay Huels

CHECK IF REVISIONS REQUIRED:

PLAT
SITE
LANDSCAPE
UTILITY



PROJECT COMMENT SHEET

DATE: 1 Dec 92 **DEPARTMENT:** *Engineering*

ITEM: 60-92 **GILSDORF GARAGE EXPANSION**
Non-Conforming Use

Please respond to this project by Friday, December 18, 1992

Planner: Steve Olt

_____ No Problems

 X Problems or Concerns (see below)

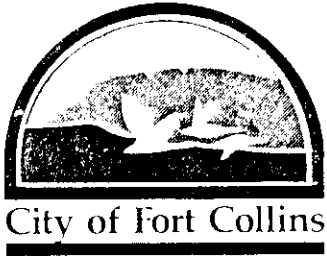
- Need to discuss whether alley must be paved from access point to shields with this particular request for expansion
- Site plan needs a scale & N. arrow on vicinity map

Date: *12/18/92*

Signature: *KA/MPH*

CHECK IF REVISIONS REQUIRED:

<input type="checkbox"/>	PLAT
<input type="checkbox"/>	SITE
<input type="checkbox"/>	LANDSCAPE
<input type="checkbox"/>	UTILITY



December 21, 1992

Architectural Resource Group
c/o Larry Trampe
2120 South College Avenue, Suite 6
Fort Collins, CO. 80525

Dear Larry,

Staff has reviewed your submittal for the **Gilsdorf Garage Expansion, Non-Conforming Use Review**, and would like to offer the following comments:

1. City Code requires that all open off-street parking and vehicular use areas shall be surfaced with asphalt, concrete or other material in conformance with City specifications. The new parking lot on the back of Lots 5 & 6 must be hard-surfaced. Ideally, the existing parking area and driveway should be hard-surfaced, as well. Hard-surfacing will affect the stormwater runoff coefficient, necessitating revisions to the drainage report. Please contact Glen Schlueter of the **Stormwater Utility**, at 221-6589, with questions about storm drainage.
2. The alley must be hard-surfaced from the edge of existing pavement on the 7-11 Store site to the west side of the access into this site. Does this site gain access from both West Mulberry Street and Shields Street? Please contact Kerrie Ashbeck of **Engineering** if you have questions. She can be reached at 221-6750.
3. There is an existing shed to the south of the garage on Lot 5 that is not shown on the Site Plan. It should be shown with an indication of whether or not it will remain.
4. A copy of the **Stormwater Utility's** comments is attached to this comment letter.
5. The amount of parking proposed on the three properties seems excessive. Are 18 spaces equal to what is provided now? Will any of the parking that occurs in front of the auto repair building, along West Mulberry street, be relocated to the new parking? Will residents of the existing home on Lots 5 & 6 continue to park on the rear of the lot, as they do now? Additional landscaping along the north side of the new parking lot should be considered to provide adequate buffering from the residence.
6. The Planning Objectives should be added to the Site Plan and be very specific about the operation. Is it for tune-ups, body or repairs, painting, or what? Also, the plan should address any potential environmental impacts on adjacent properties, such as noise, odors, vibrations, etc. What outside storage is to take place? What is the intended use of the 18 parking spaces, e.g. storage of automobiles under repair, storage of vehicles for parts, employee parking, etc? Will there be any outside repair activity? The Site Plan should be specific on these issues.
7. Will the new parking area and/or the building addition be lighted, and what type of lighting is being proposed? Any impacts from security lighting on adjacent properties must be mitigated.

8. The following note should be added to the Landscape Plan: "Existing trees to be retained to be pruned based on the City Forestry medium prune standard". Also, the 6" diameter Ash tree should be removed and replaced with a small ornamental tree. The existing Ash is growing into the overhead power lines and will cause maintenance problems. The species of Mountainmahogany that has been indicated is actually the True, not Curlleaf, and additional plants should be added along the alley to create a fuller hedge appearance. This would provide a better visual buffer from the residences to the south. The spacing on these shrubs should be about 6' on-center.

This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request. Please be aware of the following dates and deadlines to assure your ability to stay on schedule for the January 25, 1993 Planning and Zoning Board hearing:

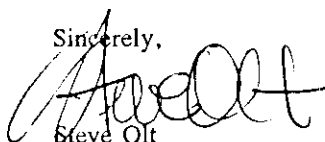
Plan revisions are due January 6, 1993 by 12:00 noon. Please contact me for the number of folded revisions required for each document.

PMT's, renderings, and 8 folded copies of final revisions (for the Planning and Zoning Board packets) are due January 19, 1993.

Final documents (including the signed development agreement, applicable mylars and utility plans) are due January 21, 1993 by 12:00 noon.

Please contact me at 221-6750 if you have questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,



Steve Olt

Project Planner

xc: Kerrie Ashbeck
Sherry Albertson-Clark
Advance Planning
Stormwater Utility
Transportation
Stewart & Associates
File/Project Planner