

DATE

29 Mar 85

DEPARTMENT

ESG

ITEM:

146-79G RAINTREE PUD, Phase 2, Final

COMMENTS

1. Walkway Raintree to be detached
2. Loading zone at north has problems.
 - a. No backup will be allowed in Raintree ROW
3. Note regarding potential culvert should read see note # 17
4. West retail to be sprinkled + slow
5. Dimension all walks, south parking, aisles
6. Note # 14 to read that type to be used to be approved by City Eng prior to construction
7. When is landscaping for Tract F to be installed
8. Sign at corner of Raintree shields should not interfere with sight distance

CITY OF FORT COLLINS

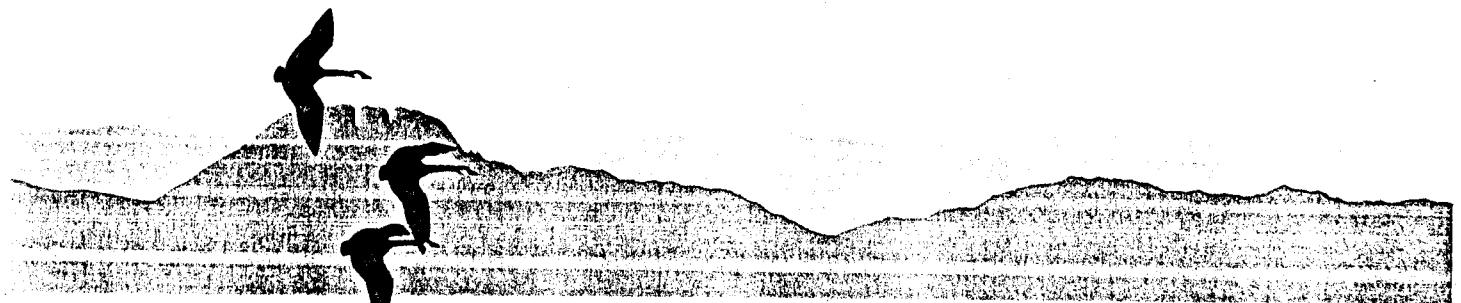
COMMUNITY DEVELOPMENT DEPARTMENT, PLANNING DIVISION
April 15, 1985

Frank Vaught
ZVFK Architects/Planners
11 Old Town Square, Suite 200
Fort Collins, CO 80524

Dear Frank:

Staff has reviewed the application for final PUD and subdivision plat approval for Raintree Commercial PUD Tract F, Phase 2 and offers the following comments:

1. The sidewalk along Raintree Drive and Shields Street should be detached from the curb. Please revise.
2. Note #14 should read that type of stamped concrete to be used must be approved by the City Engineer prior to construction.
3. Shields Street and Raintree Drive will need to be fully improved with this phase of development. Please indicate an accurate representation of the improvements to be installed on the site plan.
4. The location of the "potential future curb cut" on Shields Street will conflict with the operation of the deceleration lane. Staff would like to discuss the location and need for this curb cut at this time. Also, the note on the site plan should refer to note #17 rather than note #16.
5. The loading zone located north of the 17,200 square foot retail building may create problems for large truck access. Raintree Drive should not be used for "backing" of large vehicles. Please provide evidence to justify the plan design.
6. The design of the deceleration lane needs further work. The deceleration lane should begin approximately fifty feet past the intersection rather than at the intersection. Please revise.
7. The location of the sign at the Raintree entrance will present sight distance problems. Please relocate.



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Re: Raintree
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8. Please show any hydrants that could serve Phase 2 which are planned for Phase 1.
9. The 19,000 square foot retail building does not meet the 150 foot fire access requirement and will require sprinkling. Please indicate sprinkling of this building on the site plan.
10. Improvement of Shields Street should include the installation of the inlets at Raintree Drive and the 15" RCP outfall from the inlets. Details for controlling subbasin releases must be provided by the applicants. The Final drainage report indicates either the applicants will need to construct the approved storm sewer system in the Raintree residential portion to drain this PUD or another means of outfall will need to be designed. If the latter is chosen, the design must be submitted and approved prior to final approval by the City. Before approval of this site, the mylars for Raintree residential portion that show changes made to accomodate this development must be submitted for revision approval.
11. The amount of information and detail shown on the combined landscape plan and site plan makes the plan very difficult to read and understand. Staff recommends the landscape plan be on a separate sheet from the site plan.
12. All sidewalks should be dimensioned. Please revise.
13. The setback of the building footprints from the ROW and street pavement should be indicated on the site plan.
14. The location of the evergreens at the entrances to parking lots and at the corner of Shields Street and Raintree Drive appear to present sight distance problems. Please revise.
15. A pedestrian connection between the sidewalk and Raintree Drive to the west should be provided for at this time. How will snow and ice build up be prevented in the narrow corridors between retail buildings?
16. Indoor theatres should be eliminated from list of potential uses in note #13. Please revise.
17. The limits of Tract F are not clearly indicated on the site plan. Please revise.
18. Berming should be at least 3 feet in height rather than 2 feet as indicated. Berming should be provided along Shields Street. The parking islands along the west side of the 19,000 square foot retail building should include low lying shrubs in addition to trees. Additional comments regarding the landscape plan will be available at our meeting on this project.
19. The building elevations are unclear as to which buildings in Phase 2 that they apply to. Please clarify. A note should be added that all rooftop mechanical equipment will be screened from view by a solid masonry wall.

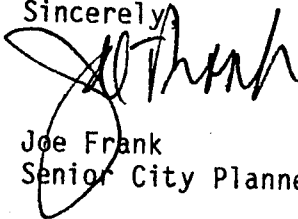
Frank Vaught
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20. The note regarding the residential density to the north appears to be incorrect. Also, "declearation lane" is misspelled.
21. Owners certification block is needed. Also, is it necessary to include a developers certification block if transfer of ownership to developer has already occurred?
22. Planning and Zoning Board block should be for 1985 rather than 1983. Please revise.
23. Staff has considered your request to include the parking lots on the remaining tracts and feels they should not be approved separately from the buildings on those tracts. If it is the applicants desire to build those parking lots at the same time as the other lots, a separate PUD will need to be submitted and approved which indicates building pads and elevations, final landscape and utility plans, etc. and other necessary information required for final PUD approval. The final PUD for these tracts will need to be submitted on the fifth of the month and follow the necessary process for PUD approval.

I recommend we meet as soon as possible to discuss the above comments. Revisions (three copies) to the plans reflecting the above comments should be delivered to this office no later than Wednesday, May 1, 1985. On Friday, May 10, 1985, 8 1/2 x 11" PMT reductions of all plans and plats and colored renderings of the site plan and building elevations should be submitted. Also, on Monday, May 13, 1985, ten full size copies of the site plan and building elevations should be delivered to me. Final signed mylars of the site plan, landscape plan, building elevations and subdivision plat including a signed "Site and Landscape Covenants" document should be submitted no later than noon on Thursday, May 16, 1985.

It is extremely important that the above deadlines be followed if the item is to be heard at the May meeting of the Planning and Zoning Board. If you have any questions, please feel free to call me. Thank you for your prompt attention to this matter.

Sincerely,



Joe Frank
Senior City Planner

cc: Sam Mutch, Planning Director
Bonnie Tripoli, Development Coordinator

DATE 5/2 DEPARTMENT BONNIE

ITEM: PAINTREE PUD - REVISIONS
Phase 2

COMMENTS (Please return comments
by 5/3)

1. 50' transit was what was requested
2. Median in shields shown incorrectly.

DATE: 8-8-88

DEPARTMENT: Eng. ^{SHERRY}

ITEM: Raintree Commercial PUD - Tract H -
Preliminary & Final - #146-79K

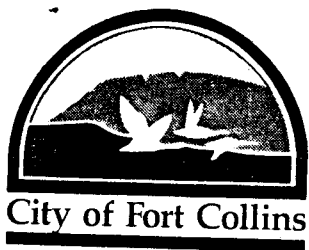
No Problems

Problems or Concerns (see below)

- MINOR DRAFTING FIXES - SEE ATTACHED SITE PLAN

Date

Signature



Development Services
Planning Department

August 18, 1988

John Barnett
c/o ZVFK Architects
#11 Old Town Square
Fort Collins, CO 80524

Dear John:

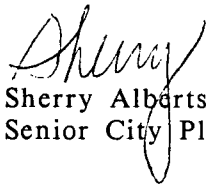
Staff has reviewed the Raintree Commercial PUD, Tract H Preliminary and Final and has the following comments:

1. In addition to the existing 8" gas line in Shields Street shown on the plans, there is an existing 4" gas line in a utility easement at 14' west of the west right-of-way line of Shields Street. Trees to be planted on the west side of Shields must remain a minimum of 6' from this existing gas line (as measured from the center of the gas line to the nearest portion of tree trunk).
2. There are 2 existing taps for water in Raintree Drive. One of these is a 4" fire line stub, which will not be used by this development. This stub must be abandoned at the main. The second tap may be used for the gas station if it is sized correctly. A water main is existing south of the fast food restaurant and may be tapped for the restaurant's service. A sewer main is existing west of Tract H and sewer services for both buildings should be tapped into that main.
3. Raintree Drive and Shields Street need to be labelled on the site plan. The 15' easement shown along Shields should be labelled as a utility and access easement.
4. Access into the site from Raintree Drive needs to be more clearly defined.
5. The grading and drainage plan needs to be signed and stamped by a PE licensed in Colorado. The on-site detention is to include the area to the center line of adjacent streets. It does not appear that the street runoff was included.
6. Is sub-basin I-5 shown on Phase II included in the drainage area for Tract H? The sub-basins do not appear to match the proposed grading contours.

By noon on Wednesday, September 7, 1988 three copies of the revised site and landscape plans addressing these comments must be submitted to this office. Items that cannot be provided graphically should be addressed in written form. By Monday, September 19, 1988 ten (10) folded sets of all plans, a colored rendering (unfolded) and an 8-1/2"x 11" PMT reduction (or other similar quality, xerox copies unacceptable) must be submitted.

If you have any questions or would like to meet with me to discuss these comments, please do not hesitate to contact me.

Sincerely,



Sherry Albertson-Clark, AICP
Senior City Planner

cc. Joe Frank, Assistant Planning Director
Mike Herzig, Development Coordinator
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