

## PRELIMINARY

ITEM: # 23-81A Parker Estates South  
Phase 1

## COMMENTS

1. Only loop + cul-de-sac streets can be 28'. See site plan for <sup>(3 street to one)</sup> 36' street locations <sup>variance needed for other that are not as shown</sup>
2. Blind culdesac is not acceptable
3. 90° Parking is not allowed directly across from each other or on inside of curves.
4. Need street names.
5. Streets to be signed "no parking" by developer. Parking is allowed only at 90° - no parallel.
6. From ROW to lip of gutter - concrete is to be used.
7. Trilby shall be improved as follows
  1. North of section line full arterial standard curb, gutter, walk + width of asphalt
  2. South of section line 18' <sup>width</sup> of arterial pavement section
8. The collector shall be built completely from Trilby to Lemay.
9. Streets may not be designed to city standards

They will have to be revised at  
final.

10 Phase II double cul-de-sac is unacceptable

11. 28' Streets have 40' Row

~~12. All parking~~

12. Street design to be to 30 MPH

13. See drainage report + Plans

DATE 4-5-83

DEPARTMENT

Eng

## PRELIMINARY

ITEM: # 21-83 21-83A

Partner Estates South Master Plan

## COMMENTS

1. Phase line does not match 1st phase
2. With Phase II or III - whichever occurs first, Trilby + Lemay to be done



April 29, 1983

Mr. Ed Zdenek  
ZVFK Architects/Planners  
218 W. Mountain Ave.  
Fort Collins, CO 80521

Dear Ed,

Staff has reviewed the Portner Estates South PUD, Master Plan and Phase 1 Preliminary and has the following comments:

1. Engineering

- a) A 36 foot wide street, connecting the neighborhood commercial area with Phase 2, is to be provided.
- b) The blind cul de sac is to be eliminated.
- c) "Eyebrows" are to be eliminated.
- d) Parking on the inside of curves is to be relocated.
- e) Street names are to be designated on the site plan.
- f) The double cul de sac, Phase 2, is to be redesigned.
- g) Trilby Road is to be improved as follows (Phase 1):
  - North of section line, full arterial standard
  - South of section line, 18 foot width of arterial pavement section.
- h) The collector street is to be built, to Lemay Avenue, with a useable surface for emergency vehicle access.
- i) All units are to be within 150 feet of a fire access.
- j) Water and sewer service will be provided by the district.
- k) Street width and design standards, Phase 1, need to be confirmed on the Preliminary plan.

l) Phase 2 street design will be reviewed at the time of Phase 2 submittal.

m) Revisions are to be made to the submitted drainage report.

n) The proposed site plan incorporates a number of positive elements encouraged by the staff for this housing type.

2. Site Plan

a) Additional pedestrian links should be provided.

b) The distance between mobile homes is to be 14 feet.

c) How does the project address the energy conservation criteria contained in the Land Development Guidance System?

d) Will individual unit owners be responsible for maintenance of landscaping designated on the landscape plan?

If you have any questions regarding the above comments, please feel free to call. The revised site plan must be submitted to the office by Wednesday, May 11, 1983. An 8½ x 11 reduction of the site plan and colored renderings are to be submitted by Monday, May 16th.

Sincerely,

Cathy Chianese  
City Planner

DATE

12/5/83

DEPARTMENT Engineering

ITEM:

PORTNER ESTATES SOUTH PUD - FINAL #21-83B

## COMMENTS

1. Driveways must be provided curb stops at end or must be lengthened to 19'
2. Walk to be to city requirements  
75' attached 2-60' R to detach
3. ~~Walk~~ to Curb & gutter both sides of  
Buttany <sup>Compton</sup> walk can be added to east  
when that parcel develops
4. Add note ~~that~~ regarding maintenance  
5' gravel portion of Buttany
5. Show type III barricades at edge of  
pavement on Compton
6. Why a 5' walk interior? City won't pay  
for oversized.
7. ~~Area~~ show no parking <sup>on street.</sup> sign location
8. Use new atty cert.
9. Soils report is inadequate - Pavement  
design must be to City stds +  
we require info regarding whether or not  
the soils are corrosive to metal pipes
10. A franchise agreement or special permit must



CITY OF FORT COLLINS

P.O. BOX 580, FORT COLLINS, COLORADO 80522

(303) 484-4220

PLANNING and DEVELOPMENT DEPARTMENT

EXT. 652

December 20, 1983

Mr. Ed Zdenek  
ZVFK Architects  
218 West Mountain Ave.  
Fort Collins, CO 80521

Dear Ed,

Staff has reviewed the Portner Estates South PUD Final and has the following comments:

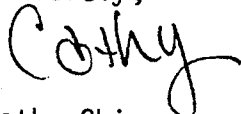
1. More landscaping should be provided along the internal streets.
2. A perspective indicating views from Trilby Road into the project is to be provided.
3. Location of proposed fences are to be indicated on the site plan.
4. More dimensions are required on the final site plan; lot sizes, property line dimensions, and distance of envelopes to two property lines.
5. Provide fire flow estimates for hydrants.
6. Driveways must provide curb stops at end or must be lengthened to 19 feet.
7. Sidewalks to be built to City standards.
8. Curb and gutter is to be provided on both sides of Brittany Street and Campton Road. Sidewalks can be added to east side of streets when adjacent parcels develop.
9. Add a note to the site plan specifying maintenance of gravel portion of Brittany Street.
10. Indicate type III barricades at the edge of proposed pavement on Campton Road.

11. City will not pay oversizing for 5 foot walk indicated on local streets.
12. Indicate location of "no parking" signs on site plan.
13. The soils report submitted is not adequate.
14. Brittany Street does not meet City collector street design standards.
15. What is the intended use of Lot 2 Block 3?
16. Landscaping is to be indicated for Lot 1 Block 3.
17. Questions regarding proposed water service to the project are to be resolved before final utility plans can be approved.
18. Specify sizes and species of typical unit landscaping.

Revisions addressing the above comments are to be submitted on Monday, January 9, 1984. 8½" X 11" PMT reductions of the site and landscape plans, colored renderings, and 10 24" X 36" prints of the site and landscape plans are to be submitted Monday, January 16, 1984.

If you have any questions regarding the above comments, please feel free to call.

Sincerely,



Cathy Chianese  
Senior City Planner

CC: Bonnie Tripoli, Development Coordinator

CC/kb



CITY OF FORT COLLINS  
COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

January 24, 1986

Ms. Susan G. Peterson  
MSP Companies  
Suite 1050  
650 South Cherry Street  
Denver, Colorado 80222

Re: Portner Estates South PUD (Case #21-83B)

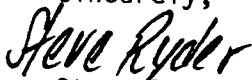
Dear Ms. Peterson:

City staff has reviewed your request for a six month extension of the final approval of the above-referenced project and offers the following comments:

1. City standards for single family residential areas require 36 foot rather than 28 foot streets. If 36 foot streets are not provided, off-street parking in addition to the two spaces per unit are required. Twenty-five additional spaces should be provided and spaced in convenient locations. This would bring the parking ratio to 2.5 spaces per unit.
2. The utility plans also need updating - new detailing and general notes. Bonnie Tripoli (221-6750) should be contacted for further information.

Pending resolution of these items, a six month extension will be granted moving the date of expiration to July 23, 1986. If I can be of any further assistance to you, please let me know.

Sincerely,



Steve Ryder  
City Planner

cc: Joe Frank, Acting Planning Director  
Bonnie Tripoli, Development Coordinator

