

December 6, 1991

Mr. Gary Nordick
Nordic Construction & Development
309 West Harmony Road
Fort Collins, CO 80526

RE: Clarendon Hills Fourth Filing - Shields Street Widening

Dear Gary:

As a result of our meeting of November 19th regarding this project, we have decided to allow construction to proceed as proposed in the attached schedule (where Shields street will not have to be closed down until March, 1992). The following is a list of items that must be completed before the project begins:

1. The construction plans must be signed and approved by the City.
2. An amendment adding Exhibit "B" to the Development Agreement for the Clarendon Hills Fourth Filing must be executed to allow the City to make reimbursement payments to you for the storm drainage improvements.
3. Submit a letter, along with supporting documentation, verifying that the project was properly bid. The itemized bid tabulation should be presented in two ways. The first should be a tabulation for how the project was originally bid for closing down Shields Street from the beginning of the project. The second should be a tabulation for how the project is to be phased beginning this winter and not closing Shields Street until March. Documentation shall show the a detailed breakdown of total cost including itemized City costs and Developer costs. The costs shall be presented so that the increased cost items related to the revised phasing are shown.
4. Submit a letter from your contractors confirming that the bids include winter work on all of the items to assure us that no extras will be requested for winter weather conditions.

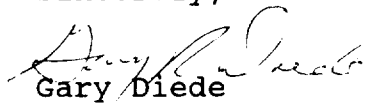
Prior to beginning the second phase of the project, where Shields Street is to be shut down to install the major culverts and the

bike tunnel, easements must be secured from the property owner (believed to be the RTC) on the west side of Shields.

For your information, Matt Baker (telephone number 221-6605) will be the City's contact person for the construction phase of the project. Matt along with the construction inspectors assigned to the project will be watching the progress of the work and approving pay estimates. To assure quality improvements, they shall have the authority to restrict construction activities whenever such things as weather conditions are not acceptable.

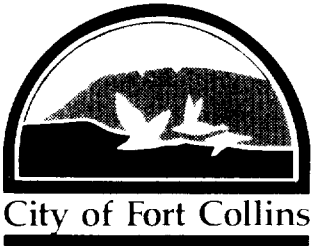
I appreciate the effort you and your people have put into changing the construction sequencing of the project. I believe it will be better for all of us. Thanks.

Sincerely,



Gary Diede
Director of Engineering

xc: Matt Baker
Craig Forman
Susan Hayes
Mike Herzig
Dave Stringer



Development Services
Engineering Department

September 10, 1992

Nordic Construction and Development
Gary Nordic
309 West Harmony Road
Fort Collins, CO 80525

RE: Clarendon Hills 4th and 6th Filing Developments

Dear Mr. Nordic:

This letter is to inform you of several items which need to be completed in the Clarendon Hills, 4th Filing development.

On Wednesday, September 2, 1992, I conducted a walk through inspection and found the following items to be incomplete or in need of repair.

1. The stormwater outlet from Hobson Court south through Ogden Court needs an ADS end section where it terminates at the creek. The existing pipe has been beveled to give the pipe an end section like appearance. This is not acceptable.
2. The overflow channel between Lots 52 and 53 adjacent to Hazel Court need to be installed. In addition, the depressed curb on either side of the storm water inlet (driveway approaches) for these addresses need to be installed.
3. Remove and replace the concrete sidewalk around the subdrain clean out adjacent to 1000 Hobson Court. The clean out is higher than the sidewalk creating a tripping hazard for pedestrians.
4. Install asphalt overlay patch on Clarendon Hills Drive at Hinsdale Court as per approved utility plan.
5. Install asphalt overlay on Clarendon Hills Drive from Lot 1 southeast to Lot 6 as shown on the city approved plans.
6. Immediately clean all streets in the 4th Filing and continue to monitor and clean them as needed to prevent a build up of construction dirt and debris.
7. Install back lot drainage swale between Alexia Court and Ashford Court.
8. Install landscaping at detention pond and adjacent to Shields Street as required by city approved plans.

Clarendon Hills 4th and 6th Filing Developments
September 10, 1992
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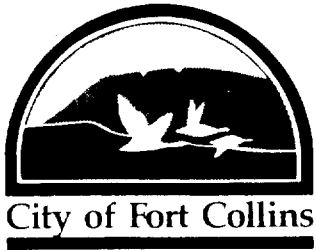
9. Submit storm water certification of drainage facilities to the City Storm Water Division for their approval.
10. Submit certified Record Plan Transparencies of the development project to the Director of Engineering for the City's records as required in Paragraph J of the Development Agreement.

When these items have been received and or completed the warranty period for the Clarendon Hills, 4th and 6th Filings will begin. If you should have any questions, please call me at 221-6605. Thank you.

Sincerely,



David Stringer
Chief Construction Inspector



September 19, 1990

Mr. Eldon Ward
Cityscape Urban Design
3030 South College Avenue
Fort Collins, CO. 80525

Dear Eldon:

Staff has reviewed the requests for Preliminary and Final subdivision for Clarendon Hills 4th and 5th Filings. The following comments are offered:

1. The South Fort Collins Sanitation District will require that sanitary sewer facilities be extended to Shields Street for future development that will occur to west.
2. The Fort Collins-Loveland Water District will require appropriate looping of water lines back to Shields Street.
3. An eight foot minimum utility easement needs to be carried through lots 1, 2, 6, 7, or Tracts A, B, and C, Fourth Filing, in order to provide natural gas facilities.
4. The Public Service Company requests that the access drive serving Lots 2,3,4,5, and 6, Fourth Filing, should also be dedicated for utility use.
5. In the Fifth Filing, the Public Service Company will be installing a 6 inch steel gas main in Tract B between Hilldale Drive and Fossil Creek Drive. The location of street trees in this area should be coordinated with PSCo so that there is a distance of six feet horizontal separation between the gas main and the trees.
6. Fire hydrants are required every 400 feet and within 400 feet of every residence.
7. It is suggested by the City Forester that additional street trees be located in a few groups with some wider spacings between groups. It is also suggested that different shade tree species be selected. Finally, please consider using Spring Snow Crabapples as a preferred planting.
8. All deciduous shade trees should be kept a minimum of 40 feet from arterial street lights. Ornamental trees should be kept a minimum distance of 20 feet.
9. Have you considered providing greater lot width to Lots 13 and 14, Fourth Filing? This would create a larger side yard buffer from the arterial street.

10. The open space tracts along Shields Street will not be maintained by the City of Fort Collins Park Maintenance Division. The Homeowners' Association should be responsible for landscape maintenance along Shields to the edge of pavement so there is no confusion or gap in maintained area.
11. The plat should indicate handicap ramps on the public sidewalk system.
12. The 100-year floodplain for Fossil Creek should be indicated on the plat. This floodplain should be delineated on the plat as a tract or non-buildable easement so that it is very clear to lot purchasers and future homeowners that this area is restricted. In addition, a plat note should state in clear narrative that there are use restrictions in the 100-year floodplain.
13. The two existing culvert crossings for Fossil Creek and Burns Tributary on Shields Street will have to be reconstructed as a result of these subdivisions. This work is eligible for repayment by the Stormwater Utility so an Exhibit "B" must be attached to the development agreement. Please contact Susan Hayes, Stormwater Engineer, 221-6589, for details on the final design of these structures.
14. Additional comments relating to the Drainage Report and Drainage and Grading Plan will be made under separate cover.
15. The development of the 4th and 5th Filings will trigger the Shields Street improvements as per existing agreements.
16. Additional comments relating to the Utility Plans will also be made under separate cover.
17. The fencing along Shields Street should be detailed on the landscape plan.
18. The area along the Burns Tributary is identified by the City Department of Natural Resources as highly sensitive and moderately sensitive. It is not clear what protective measures are being taken to preserve the natural values of the stream corridor. Staff is very concerned that these sensitive areas be maintained in a natural state. Please address how these two filings will accommodate platted lots and preservation of the sensitive areas.

This concludes Staff comments at this time. Please note the following deadlines for the October 22, 1990 Planning and Zoning Board worksession:

Plan revisions are due October 3, 1990.

P.M.T.'s, 10 prints, colored renderings are due October 15, 1990.

Final, signed mylars, development agreement are due October 18, 1990.

Please call the Planning Department to make an appointment to discuss these comments in detail at your earliest convenience.

Sincerely,



Ted Shepard
Project Planner

xc: Mike Herzig, Development Engineer
Sherry Albertson-Clark, Senior Planner