



City of Fort Collins  
**Current Planning**

# PROJECT COMMENT SHEET

DATE: 3 August 1995

DEPARTMENT: *Engineering*

PROJECT: 16-90B Wood Street Light & Power Parking Lot

PLANNER: **Mike Ludwig**

All comments must be received by: Thursday, August 17

No Problems

Problems or Concerns (see below)

*See Utility Plans.*

Date: *10/13/95*

Signature: *Steve Wankoff*

CHECK IF YOU WISH TO RECEIVE  
COPIES OF REVISIONS:

- PLAT
- SITE
- LANDSCAPE
- UTILITY



City of Fort Collins

# PROJECT COMMENT SHEET

## Current Planning

DATE: April 29, 1997 DEPT: **Engineering**

PROJECT: #16-90C City of Fort Collins Utility Service Center, 5th Filing  
Type I (NLUC) PDP Review

PLANNER: Ted Shepard

All comments must be received no later than the staff review meeting on: Wednesday, May 28, 1997

City of Fort Collins Utility Service Center  
Site Plan

May 28, 1997

- It is not clear what is existing, what is proposed - what is being approved.
- The southern most spaces in the parking lot need to be labeled as compact spaces or the depth of these spaces increased.
- Elm Street. A 11 foot combined parking bikelane is what should be provided and striped.

### Plat

- Provide 9 foot utility easements along the ROW frontages
- Provide the reception number for the existing drainage easement.
- The indications for drainage and access easements have square footage indications with them. These do not correspond with the acreage indications.

### Utility Plans

- Provide a striping plan for elm street.
- Is the demolition/ construction work to be done in Phases? If not where will temporary parking be located?

(Continued on next page)

Date:

5/28/97

Signature:

*S. Wambhoff*

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat

Site

Drainage Report

Other

Utility

Redline Utility

Landscape



City of Fort Collins

City of Fort Collins Utility Service Center (page 2 of 2)

- Revise general notes as shown.
- Add cross section sheets into the index.

Overall Utility and Grading plan

- Is the 8" underdrain paralleling Elm Street existing or is this something new. Is it perforated or solid?

Horizontal control plan

- Only a 4.5 foot walk is required on Wood Street.
- The parking spaces at the south end of the lot need to be labeled as compact or the depth needs to be increased to meet min for standard vehicles.

Cross sections

- Typically the sidewalk and the parkway strip drain to the street. If it is going to drain away need modify the standard detail for curb, gutter and walk showing it sloping away at 2%.
- show curb and gutter on the west.
- Indicate the approximate x-slope.

Wood Street Plan and Profile

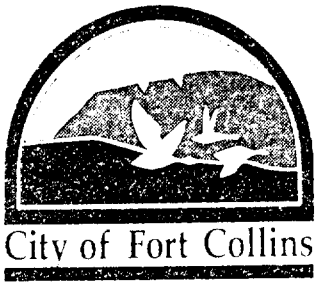
- What is the slope that the improvements are being tied into?
- Need to indicate where the sidewalk is located (this may be something that would be best done on the horizontal control plan). For the meandering a 60 foot min is what we want to see.
- Is a cross pan needed across the intersection of Wood and Elm?

Elm Street Plan and Profile

- Provide elevations in the intersection of Wood and Elm per Details D-18 or D-19
- A vertical curve is needed where the proposed and future improvements intersect.
- Provide stationing indications on the plan view.
- Driveway entrance Radii 15 foot max

Details

- Provide changes to details as indicated.
- Details for on site ramps?



September 15, 1995

City of Fort Collins Light and Power  
c/o Jack Gianola  
700 Wood Street  
Fort Collins, CO 80521

Dear Jack,

Staff has reviewed your documents for the **Wood Street Light & Power Parking Lot Minor Subdivision**, that were submitted on July 31, 1995 and August 28, 1995, and would like to offer the following comments:

1. The Engineering Department has noted their comments on the Utility Plans.
2. The Mapping Department requests that you verify whether or not the monument listed/shown at the NW corner of the NE $\frac{1}{4}$  of the NW $\frac{1}{4}$  still exists.
3. The Building Inspections Department suggests that the building envelope be removed from the Plat.
4. The Natural Resources Department asks the following questions and offers the following comments:
  - a. Is the existing wetland area on the northeast boundary of the site (along the railroad track) to be disturbed? If not, it should be marked as a "do not disturb" area as well.
  - b. What precautions will be used during the construction period to assure that the wetland areas are not disturbed? Please note these precautions on the Site Plan and Utility Plans.
5. The Water and Wastewater Utility has noted their comments on the Utility Plans (Landscape Plan was originally submitted as a part of the Utility Plans). Please address all requested revisions.
6. The City Forester offers the following comments:
  - a. Please reduce the quantity of Green Ash used, by adding or increasing the quantities of the following types of trees: Bur Oak, American Linden, Littleleaf Linden, Hackberry, and Redmond Linden.

- b. Please substitute three English Oak trees for the three Coffeetrees.
  - c. Pleas substitute two Ussurian Pear trees for the two Shuberts Chokecherry trees.
  - d. Add a signature block on the Landscape Sheet 2 of 2 for the City Forester's approval.
  - e. Please provide plant specifications to the City Forester for review and approval (submit to the Planning Department for distribution).
7. Please eliminate the Planning and Zoning Board approval block and replace it with a signature block which reads:

**Approved by the Director of Planning of the City of Fort Collins, Colorado, this \_\_\_\_\_ day of \_\_\_\_\_, 1995.**

\_\_\_\_\_  
**Director of Planning**

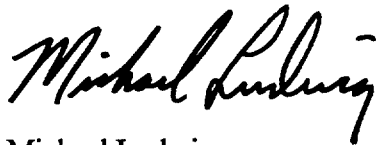
8. Comments from the Stormwater Utility are forthcoming.

This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request.

Upon receipt and review of the requested revisions, staff will schedule an administrative hearing for the proposed Minor Subdivision.

Please contact me at 221-6206 if you have any questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,



Michael Ludwig  
Project Planner

xc: Kerrie Ashbeck  
Stormwater Utility  
file/Project Planner



City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: 5/28/97

DEPT: Engineering

PROJECT: City of Fort Collins Utility Service

PLANNER: Ted Shepard (Center)

ENGINEER:

Sheri Wankhoff

No Problems  
 Problems or Concerns (see below or attached)

Show potential Access points onto  
Elm St.

Date:

5/28/97

Signature:

S. Wankhoff

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE

# Engineering

## **\*SITE PLAN**

### **COMMENT:**

It is not clear what is existing, what is proposed- what is being approved.

### **RESPONSE:**

The Site Plan has been modified to reflect only the proposed improvements. The covered parking and vehicle storage building will be constructed at a future date and under separate contract.

### **COMMENT:**

The southern most spaces in the parking lot need to be labeled as compact spaces or the depth of these spaces increased.

### **RESPONSE:**

These spaces have been increased in depth to 17'.

### **COMMENT:**

Elm Street. A 11 foot combined parking bike lane is what should be provided and striped.

### **RESPONSE:**

The stripe separating the bike lane and parking lane will be deleted and a single stripe at 11' off of the flowline of the gutter will be placed along the north side of Elm Street.

## **\*PLAT**

### **COMMENT:**

Provide 9 foot utility easements along the ROW frontages.

### **RESPONSE:**

This easement has been added to the Plat. See drawing/plan.

### **COMMENT:**

Provide the reception number for the existing drainage easement.

### **RESPONSE:**

The Griffin drain easement is in the process of being filed by the City of Fort Collins. Therefore a Reception Number has not been assigned.

**COMMENT:**

The indications for drainage and access easements have square footage indications with them. These do not correspond with the acreage indications.

**RESPONSE:**

This discrepancy has been corrected on the drawings/plans.

## **\*UTILITY PLANS**

**COMMENT:**

Provide a striping plan for Elm Street.

**RESPONSE:**

A striping plan will be prepared by Carroll Miller of the City of Fort Collins Traffic Operations Department prior to construction. The City will do the striping of Elm Street with their own personnel. Therefore, we have not included a Striping Plan in the drawings/plans.

**COMMENT:**

Is the demolition/construction work to be done in Phases? If not where will temporary parking be located?

**RESPONSE:**

Demolition will be done at one time. Temporary parking will be supplied in the Light and Power Departments vacant lot west of Wood Street and north of Vine Street (directly west of the 700 Wood/utility Service Center site). Additionally, the Water and Wastewater Department's newly constructed parking lot on the northwest corner of the 700 Wood Street/Utility Service Center property will be used.

**COMMENT:**

Revise general notes as shown.

**RESPONSE:**

Notes have been revised as suggested in the review comments. See revised Cover Sheet (C1).



**COMMENT:**

Add cross section sheets into the index.

**RESPONSE:**

Sheet numbers have been added to the Cover Sheet (C1).

**\*OVERALL UTILITY AND GRADING PLAN**

**COMMENT:**

Typically the sidewalk and the parkway strip drain to the street. If it is going to drain away need modify the standard detail for curb, gutter and walk showing it sloping away at 2%.

**RESPONSE:**

Grading has been modified so ground slopes toward the back of the curb. A typical cross section has been added to the Cross Section sheets.

**COMMENT:**

Show curb and gutter on the west.

**RESPONSE:**

Curb and gutter on the west side of Wood Street has not been shown as the scale of the Cross Section sheets will not allow for the full width of the street to be shown and the curb and gutter on the west side will be unaffected by the proposed construction.

**COMMENT:**

Indicate the approximate x-slope.

**RESPONSE:**

The cross slope of Wood Street varies and will be unaffected by the construction. It was agreed through previous discussions with Mike Herzog that the cross section of Wood Street will remain as is and therefore the cross slope of the street would not have to meet City criteria.

## **\*WOOD STREET PLAN AND PROFILE**

**COMMENT:**

What is the slope that the improvements are being tied into?

**RESPONSE:**

Slope on the north end of the Wood Street improvements is -1.16%.  
Slope on the south end of the Wood Street improvements is 0.27%.

**COMMENT:**

Need to indicate where the sidewalk is located ( this may be something that would be best done on the horizontal control plan).

**RESPONSE:**

The layout of the sidewalk has been geometrically defined on Sheet C7 of the drawings/plans.

**COMMENT:**

Is a cross pan needed across the intersection of Wood and Elm?

**RESPONSE:**

It is the intent of the drainage plan to divert flows coming from the north in Wood Street into the north flow line of Elm Street. Installation of a cross pan would not allow this to happen; as the southeast corner of the Wood Street and Elm Street intersection is lower than the northeast corner.

## **\*DETAILS**

**COMMENT:**

Provide changes to details as indicated.

**RESPONSE:**

Changes have been made per the review comments. See Detail Sheets C10 and C11.

**COMMENT:**

Details for on-site ramps?

**RESPONSE:**

Detail has been added to Sheet C10.

## **\*DRAWINGS**

### Sheet C6

#### COMMENT:

Main Traffic Corridor ?

#### RESPONSE:

The gravel pavement is not part of the main traffic corridor, but acts as a temporary shoulder until future improvements are made to the eastern portion of Elm Street.

#### COMMENT:

Need to show additional parking lot / structures if want them approved as a part of these plans.

#### RESPONSE:

Limits of improvements are as shown on the drawings/plans. No buildings will be constructed as a part of this project. Parking lot improvements to the eastern half of this site will be done at a later date and under separate contract.

#### COMMENTS:

Off site easement needed

#### RESPONSE:

The proposed guardrail (CDOT Type 4 concrete barriers) have been deleted from the project. Therefore, no easements will be required.

The 8" underdrain was mis-labeled as "(proposed)". This underdrain is existing.

#### COMMENT:

Curb and gutter along the north edge of Elm Street between Grant and Loomis Avenue.

#### RESPONSE:

Improvements to this portion of Elm Street are beyond the scope of this project. Improvements to this portion of Elm Street will be done at a future date and under separate contract.

Sheet C7

COMMENT:

Only 4.5' req.

RESPONSE:

A six foot (6') walk has been shown as this width matches the existing width of the walk at the northwest corner of the project site.

Sheet C8

COMMENT:

How does tis transition to the existing alignment to north?

RESPONSE:

See Sheet C6.

Sheet C9

COMMENT:

Radius? ... of curb at the southeast corner of Wood and Elm.

RESPONSE:

Curb and gutter will not be replaced as part of this project.

COMMENT:

Width from flowline to flowline of Elm Street.

RESPONSE:

This width is shown on Sheet C10.

File: h:\user\civil\projects\183-039\pm\parklot.rev



City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

DATE: July 21, 1997

DEPT: Engineering

PROJECT: Fort Collins Utility Service Center

PLANNER: ~~Atchley~~

ENGINEER: Sheri Wankoff

No Problems

Problems or Concerns (see below or attached)

July 18, 1997

City of Fort Collins Utility Service Center

Site Plan

- The Site Plan does not agree with the utility plans. The configuration of the curb between the parking lot is not reflective of what is being shown on the utility plans. Also the sidewalk and the bicycle enclosure in this area are shown in different locations.

Plat

- The Griffen easement - if can find no indication of recording - do we know that it is a recorded easement. If there is no reception number than the plat needs to be signed by the owner of the easement. If that owner is the City than it can just be shown on the plat - I would suggest that it not be called the Griffen Easement as it would be confusing.

Utility Plans

- The plans are inconsistent in indicating what is to be bicycle and motorcycle parking.
- General Note #1 should be modified as indicated - "more stringent" should be deleted and replaced with "City of Fort Collins" per the City Attorneys review.
- General Note #7 needs to have the engineer phone number provided after reference to that department and the erosion control inspectors phone number listed after reference to the inspector.
- Drainage and Erosion Control Plan - Is the dirt stock pile to be temporary during construction only? There is landscaping being shown where the stock pile is shown.

(Continued on next page)

Date: 7/21/97

Signature: S. Wankoff

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE

July 18, 1997

- Overall Utility and Grading Plan - Delete reference to utility work by others. I realize that this work is probably going to be done by water utilities, but it is still a part of this plan and needs to be completed with this project.
- Suggest combining the notes on this page. I read the details referencing the notes and didn't find the right one at first.
- There is a note indicating that landscape timbers should be placed on the west and south sides of the electrical vaults. This is not shown on the landscape plan - is there a detail of what this to be any place?
- Wood street profile - indicate what grade is being tied into.
- Elm street - need to design the portion of the street that is not being built with this project. This is being shown as future grade and therefor needs to be designed to standards. Also Section 1.02.03.06.b of the Standards state that need to design a street for 500 feet beyond the end.
- Pavement section for Elm Street needs to be removed from the plans. This pavement section will be based on the Final Soils Report that is to be done after any work in the street is accomplished.
- Provide detail #4 as it IS needed for cold joints.

See Utility Plans for additional comments.



City of Fort Collins

Current Planning

# PROJECT COMMENT SHEET

**DATE:** Aug 20, 97      **DEPT:** Engineering  
**PROJECT:** Utility Service Center - City of Fort Collins  
 Light and Power parking lot.  
**PLANNER:**  
**ENGINEER:** Sheri Wambhoff

**No Problems**

City of Fort Collins Utility Service Center Plat

**Problems or Concerns (see below or attached)**

August 26, 1997

- Provide a pedestrian easement where the walk goes outside of the ROW or place the walk within the ROW.
- The Griffen drain easement will need a reception #, or if it hasn't been recorded yet than the owner will need to sign the plat accepting the easement or it will need to be removed from the plat.

Utility Plans

- Provide a pedestrian easement where the walk goes outside of the ROW or place the walk within the ROW.
- There is a note indicating that landscaping timbers should be placed on the west and south sides of the electrical vaults. This is not shown on the landscape plan - is there a detail of what this to be anyplace? No encroachment onto the sidewalks with the timbers will be allowed.
- Wood Street Profile indicate what grade is being tied into.

Date: 8/26/97      Signature: S. Wambhoff

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE