

# STAFF PROJECT REVIEW

LOUISE HERBERT  
C/O VF RIPLEY ASSOCIATES  
401 WEST MOUNTAIN AVE., SUITE 201  
FORT COLLINS, CO 80524

Date: 9/6/02

Staff has reviewed your submittal for CITY OF FORT COLLINS UTILITY SERVICE CENTER PDP/REPLAT, and we offer the following comments:

## ISSUES:

**Department: Current Planning**  
**Topic: Public Hearing**

**Issue Contact: Ted Shepard**

58

As soon as a Preble's Jumping Mouse Survey is submitted and found to be satisfactory, the PDP may be scheduled for an Administrative Public Hearing. Please contact Ted Shepard to coordinate the hearing date and time.

**Department: Engineering**  
**Topic: General**

**Issue Contact: Dave Stringer**

11

Is signature block required for Griffin Drain ownership? No response wasa provided

13

Call out curb and gutter type, Elm Street and parking lot No response provided

15

Will existing Fire hydrant on Elm need to be relocated? The valve may be in Gutter or curb head No response provided

16

Appears off-site easements are require for pond, retaining wall and trail. No response provided

17

How will existing alley terminate at the North end? No response provided

**Department: Natural Resources**  
**Topic: General**

**Issue Contact: Doug Moore**

51

No Issues.

**Department: PFA**  
**Topic: General**

**Issue Contact: Michael Chavez**

38

After reviewing PFA has no comments pertaining to the surfacing of the storage yard.

**Department: Stormwater Utility**

**Issue Contact: Basil Hamdan**

**Topic: Box Culvert Access**

49

Please coordinate the box culvert access with Maureen Scullion in order to make sure that the proposed details meet OSHA standards.

**Topic: Box Culvert Profile**

50

Please show crossing of future ELCO water line on the box culvert profile.

**Topic: Box Culvert Trash Rack**

32

It seems that the box culvert is designed with a security rack at the downstream end. Please make sure that the grate is not anchored to the headwall as currently shown, but is secured with lockable and movable devices such as hinges and locks for maintenance access.

**Topic: Details**

55

Please provide a construction detail of the water quality outlet box that would include all box size dimensions and all concrete and reinforcement construction detail.

Please provide an opening slot on the downstream side of the water quality pond stilling basin for dewatering.

**Topic: Erosion Control**

56

Standard City erosion control notes need to be on the plan, they are still not shown on the current erosion control plan.

The BMP's mentioned in the report versus those on the plan, versus those in the calculations do not match. Please make it so.

Project Schedule needs to be on the erosion control plan.

What happens where with permanent revegetation? How are the swales and the new pond to be protected from erosion until vegetation is established

**Topic: Floodplain**

46

Any grading work in the Poudre River floodplain will require a floodplain use permit.

**Topic: Future Building**

29

Please specify the Finish Floor elevation of the future proposed building and call out existing vehicle storage building elevation.

**Topic: Grading**

45

The grading plan should clearly call out the locations of the proposed retaining walls. The line thickness for the proposed retaining walls should be changed so that it is clearly visible on the plans.

Show existing trench drain around vehicle storage building.

**Topic: Griffen Drain Crossing**

54

The crossing of the Griffen drain is now shown however the elevation is not called out. It is recommended that the drain elevation be potholed prior to construction. Please add such a note to the plans.

**Topic: Proposed wetlands**

47

Please provide a detail on the plan for the proposed buried riprap at the wetlands. Provide a low flow crossing of the bike path. Make sure this sheet is signed by the City Parks Department.

**Topic: Storm Pipe Profile**

53

Please specify water-tight joints on the profile sheets for the storm lines where the HGL exceeds the crown of pipe.

**Topic: Trench Drain Detail**

48

Please provide a detail on the plans for the proposed trench drain around the transformer pad. Make sure that the specs are such that the drain can withstand heavy equipment loading.

**Topic: Utility corridor documentation**

57

Please provide a copy of the utility corridor reservation for the drainage facilities proposed on the site.

**Department: Water Wastewater**

**Issue Contact: Jeff Hill**

**Topic: General**

19

Repeat Comment: Maintain 10 feet of separation between existing buildings and sanitary sewer trunks and proposed relocated ELCO water main.

20

Clearly define all aspects of existing and proposed water/ sewer services (I.e size, location, etc.).

22

Will existing 6" City of Fort Collins water main be abandoned with future building? Clearly define all aspects of future building impacts on existing water/sewer. Water mains and services may not extend under one building to serve another.

23

Provide all appropriate details on detail sheet (I.e. water main lowering, meter pits, etc.).

See site, landscape and utility plans for other comments.

41

Clearly define how grading will affect existing sanitary sewer manhole located at the south east corner of this site. Will the existing manhole need to be raised?

42

Provide separate water and sewer services for each individual building.

43

Will existing fire hydrant need to be relocated along Elm Street? Provide a 2 feet minimum separation between back of curb/sidewalk and fire hydrant.

44

Curb stops and meter pits may not be placed in vehicle travel areas.

52

CLEARLY DEFINE WHAT IS TO BE CONSTRUCTED WITH THIS PROJECT. IF IT IS A CONCEPTUAL DESIGN THEN GHOST IT OUT OR LABEL IT AS FOR INFORMATION ONLY.

**Department: Zoning**

**Issue Contact: Peter Barnes**

**Topic: zoning**

2

REPEAT COMMENT: No new narrative was submitted with this 2nd round, so it's still unclear as to what they mean by "security fence" on the PDP site plan. It must comply with 3.8.11(B), so they should clarify on the site plan with a note or detail describing what they mean by "security fence".

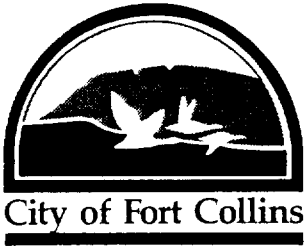
Original comment: Their narative states that there will be an 8' tall security fence to tie in with the existing. Will the fence have barbed wire? If it does, then they'll have to comply with the standards in 3.8.11(B).

Be sure and return all of your redlined plans when you re-submit.

If you have any questions regarding these issues or any other issues related to this project, please feel free to call me at (970) 221-6750.

Yours Truly,

TED SHEPARD  
City Planner



Development Services  
Planning Department

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April 18, 1990

Mr. George Breilig  
Robb, Brenner, and Breilig, Inc.  
125 South Howes  
Suite 880  
Fort Collins, CO. 80521

Dear George,

The Planning Staff has had an opportunity to review the plans for the Utility Services Center project. The following comments are offered:

1. Enclosed please find a map prepared by the Light and Power Department describing the location of the electrical facilities. These locations should be included on the utility plans (sheet 2 of 2).
2. It appears that some of L & P's facilities will have to be relocated, removed, or abandoned. Please coordinate with L & P on these potential modifications.
3. Access ramps should be shown.
4. The storm drain under the building may cause problems in case of blockage. Typically, storm drains are not installed under buildings due to potential hazards. It is suggested that this concept be discussed with Engineering, Storm Drainage, and the utility services so the implications are clear to all parties.
5. The Poudre Fire Authority requests that the building be equipped with an approved fire extinguishing system.
6. A fire hydrant should be added to the area north of the complex.
7. A fire access should be provided around the north side of the building as per the master plan study of 1988.
8. Please contact the Public Service Company when gas load requirements for the new building are known so that adequacy of existing gas lines can be verified.
9. The parking lot aisle along Wood Street is 30 feet wide. This could be reduced to 24 feet and allow more landscaping along the Wood Street frontage.

10. The southerly parking lot does not appear to have any landscaping along the shared property line with Concrete Products. Since this area is confined by the street alignment, opportunities for increased landscaping appear slim. Would it be possible to plant some trees off-site across the property line? Would the Concrete Products person object to this? With 17 foot stalls, there will be 2 foot vehicle overhang resulting in a 3 foot strip. Please investigate how this situation could be improved.
11. The interior parking stalls at the southeast corner of the site should be framed by landscaped islands.
12. The compact and long term parking spaces should be identified with raised signs indicating the parking limitations.
13. Please indicate the location of the handicap parking and ramps.

This concludes our comments at this time. The schedule for the May 21, 1990 Planning and Zoning Board hearing is as follows:

Plan revisions are due Wednesday, May 2, 1990.

P.M.T.'s, colored renderings, 10 prints are due May 14, 1990.

Final documents are due Thursday, May 17, 1990.

The Planning and Zoning Board worksession is Friday, May 18, 1990.

As always, please call our office if there are any questions or concerns regarding this project.

Sincerely,



Ted Shepard  
City Planner

TS/kb

cc: Sherry Albertson-Clark, Senior Planner  
✓ Mike Herzig, Development Engineer

Encl.



City of Fort Collins

# PROJECT COMMENT SHEET

DATE: 3 Apr 90

DEPARTMENT: Eng

ITEM: 16-90 UTILITIES SERVICE CENTER - Preliminary

No Problems

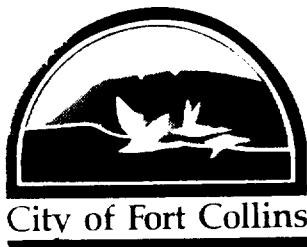
Problems or Concerns (see below)

- Access Ramps should be shown
- Discuss storm drain under building

Date 4/6/90

Signature MRH

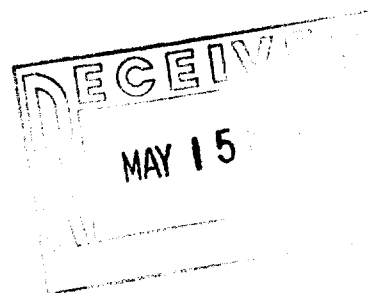




Development Services  
Planning Department

MEMORANDUM

TO: GARY HUETT  
PUBLIC SERVICE



FROM: Mike Herzig, Development Coordinator

DATE: May 8, 1990

RE: Subdivision Utility Plans

Submitted for your review and comment are utility plans for:

16-90A UTILITIES SERVICE CENTER - Final

Please respond by:

May 18, 1990

The proposed storm drain, proposed water line & proposed sewer line will cross existing natural gas lines in several locations. There are 2 existing natural gas mains in Wood St. north of Vine drive ... plans show only one.

*Gary Huett*  
5/11/90



City of Fort Collins

# PROJECT COMMENT SHEET

DATE: 8 May 1990

DEPARTMENT: *Engineering*

ITEM: 16-90A UTILITIES SERVICE CENTER - Final

No Problems

Problems or Concerns (see below)

- UTILITY PLAN & SITE PLAN DON'T MATCH  
(SIDEWALKS & RAMPS - VINE/WOOD)

- WOOD ST. PLAN & PROFILE: DESIGN NEEDS  
ADDITIONAL ELEVATIONS, & STATIONING, & PROFILE,  
DESIGN OF STREET FOR RIDEABILITY

Date *5/15/90*

Signature *Kerrin L. Ashbeck*

April 11, 2003

Ted Shepard  
Current Planning  
281 North College Avenue  
Fort Collins, CO 80522

Meter Shop Building – Utility Service Center  
Minor Amendment

CC: Jenny Nuckhols – Zoning  
Michael Chavez – PFA  
Wes Lamarque – Stormwater  
Roger Buffington – Water and Wastewater  
Dave Stringer – Engineering

Dear Ted,

We have reviewed the staff comments dated February 20, 2003 and have the following comments:

Zoning

1. See 3.8.11(B) regarding the barbed wire as shown on the plans. Does not comply with these standards.

*Response: The existing fence will be temporarily taken down during construction, and put back in it's original condition.*

2. No handicapped parking is being shown for this building.

*Response: Two handicapped spaces are shown on the Site Plan. One is an existing space. A second handicapped parking space has been added to the south end of a block of 26 parking spaces. Both handicapped spaces are to be shared with the other Utility Service Center Departments. The majority of the parking in this section of the entire Utility Service Center will be primarily used by the Utility Service Center employees. Additional parking, including visitor with handicapped parking, is also available in other locations, within the entire Utility Service Center site.*

3. Show back-up distance at the parking aisle.

*Response: A distance is shown on the revised Site Plan.*

4. Label building envelope dimensions, distance to property lines.

*Response: These have been added to the revised Site Plan.*

5. Please remove topo lines from final site and landscape plans.

*Response: The topo lines have been removed.*

### PFA

1. The Meter Shop Facility at 700 Wood Street is out of access and shall be required to be fire sprinklered.

*Response: The building will be fire sprinklered.*

2. Building identification shall be required.

*Response: Acknowledged. The building will have identification.*

### Stormwater / Erosion Control

1. City of Fort Collins standard erosion control notes must be on the erosion control plan. Please delete the notes on plan sheet CS001 under Grading and Erosion Control.

*Response: Done*

2. The plan calls for the removal of the existing storm drainage pipelines, but shows a gravel inlet filter on (I think) an inlet being removed. Why?

*Response: Please see the grading and utility plans. You will note that there is a proposed new area inlet on the west side of the new building, which will require an inlet filter.*

3. Report needs PS, EFF calculations or a legitimate request for variance.

*Response: Letter addendum to drainage report now includes performance standard effectiveness calculations.*

## Water & Wastewater

1. The 4-inch water service and the 6-inch fire line must be D.I.P.

*Response: Done*

2. Move the fire line and domestic water service out from under canopy area. This may also require that the 15-inch storm drain be re-routed to avoid conflicts. Consider connecting the fire line and the domestic service to the water main in Wood Street.

*Response: This issue was discussed at length with the City of Fort Collins' owner's representatives early in the design process. It was and is understood by the owner that this configuration may present difficulties in the future in the event the water service lines must be exposed. The owner is satisfied that there are practical means to access these services under the canopy area if necessary, and that this configuration is the best option for them for many reasons.*

3. The existing sewer service is also shown under the canopy area of the new building and less than 10 feet from the proposed building/loading dock. This makes it difficult to maintain that line in the future. Consider re-routing the 6-inch sewer.

*Response: Same response as previous comment.*

## Engineering

1. Need to vacate existing drainage & utility blanket easements for area that building will be in.

*Response: The City of Fort Collins' owner's representative will undertake the process of vacation of the area of the new building from existing easements. Legal description and exhibit drawing for new building area is included with this re-submittal of plans.*

Please call if you have any questions regarding the above.

Yours Sincerely,

Louise Herbert – VF Ripley Associates  
Mike Carr – Sear Brown