



Ralph Shields, Chair  
Shelley LaMastra, Vice Chair  
David Lawton  
John McCoy  
Taylor Meyer  
Ian Shuff  
Butch Stockover

Council Liaison: Ross Cunniff  
Staff Liaison: Noah Beals

**LOCATION:**  
Meeting will be held virtually

The City of Fort Collins will make reasonable accommodations for access to City services, programs, and activities and will make special communication arrangements for persons with disabilities. Please call 221-6515 (TDD 224-6001) for assistance.

**REGULAR MEETING  
OCTOBER 8, 2020  
8:30 AM**

**Participation** for this remote Zoning Board of Appeals meeting will be available online or by phone. No one will be allowed to attend in person.

**Public Participation (Online):** Individuals who wish to address the Zoning Board of Appeals via remote public participation can do so through Zoom at <https://zoom.us/j/97550992839>. Individuals participating in the Zoom session should also watch the meeting through that site.

The meeting will be available to join beginning at 8:15 a.m. on October 8, 2020. Participants should try to sign in prior to 8:30 a.m. if possible. For public comments, the Chair will ask participants to click the "Raise Hand" button to indicate you would like to speak at that time. Staff will moderate the Zoom session to ensure all participants have an opportunity to address the Board or Commission.

In order to participate:

Use a laptop, computer, or internet-enabled smartphone. (Using earphones with a microphone will greatly improve your audio).

You need to have access to the internet.

Keep yourself on muted status.

If you have any technical difficulties during the hearing, please email [jluther@fcgov.com](mailto:jluther@fcgov.com).

**Public Participation (Phone):** If you do not have access to the internet, you can call into the hearing via phone. The number to dial is +1 346 248 7799 or +1 669 900 9128, with webinar ID: 975 5099 2839

(Continued on next page)

The meeting will be available beginning at 8:15 a.m. Please call in to the meeting prior to 8:30 a.m., if possible. For public comments, the Chair will ask participants to click the "Raise Hand" button to indicate you would like to speak at that time – phone participants will need to hit \*9 to do this. Staff will be moderating the Zoom session to ensure all participants have an opportunity to address the Committee. Once you join the meeting: **keep yourself on muted status.** If you have any technical difficulties during the hearing, please email [jluther@fcgov.com](mailto:jluther@fcgov.com).

**Documents to Share:** If residents wish to share a document or presentation, the Staff Liaison needs to receive those materials via email by 24 hours before the meeting.

Individuals uncomfortable or unable to access the Zoom platform or unable to participate by phone are encouraged to participate by emailing general public comments you may have to [nbeals@fcgov.com](mailto:nbeals@fcgov.com). The Staff Liaison will ensure the Board or Commission receives your comments. If you have specific comments on any of the discussion items scheduled, please make that clear in the subject line of the email and send 24 hours prior to the meeting.

**As required by City Council Ordinance 079, 2020, a determination has been made by the chair after consultation with the City staff liaison that conducting the hearing using remote technology would be prudent.**

- **CALL TO ORDER and ROLL CALL**
- **APPROVAL OF MINUTES FROM PREVIOUS MEETING**
- **CITIZEN PARTICIPATION (Items Not on the Agenda)**
- **APPEALS FOR VARIANCE TO THE LAND USE CODE**

**1. APPEAL ZBA200039**

**Address:** 5830 Southridge Greens Blvd  
**Owner:** Renee Long  
**Petitioner:** Tad Bjorlie  
**Zoning District:** R-L  
**Code Section:** 4.4(D)(2)(c)

**Project Description:**

This is a variance request to build a patio cover 2 feet into the required 15-foot rear yard setback.

**2. APPEAL ZBA200040**

**Address:** 1501 Peterson St.  
**Owner:** Robert & Sally Linton  
**Petitioner:** Blue Pine Construction, Inc.  
**Zoning District:** N-C-L  
**Code Section:** 4.7(E)(4)

**Project Description:**

This is a variance request for a patio cover to encroach 4 feet into the required 15-foot corner side-yard setback.

- **OTHER BUSINESS**
- **ADJOURNMENT**

## Jennifer Luther

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**From:** Noah Beals  
**Sent:** Friday, August 28, 2020 8:30 AM  
**To:** Ralph Shields  
**Cc:** Jennifer Luther; Kacee Scheidenhelm  
**Subject:** RE: Zoning Board of Appeals (September - December)

Thanks! We will proceed with remote meetings for the remainder of the year.

Regards,

Noah Beals  
*Senior City Planner-Zoning*  
970 416-2313



[Tell us about our service, we want to know!](#)

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### **COVID19 Resources**

For all residents: <https://www.fcgov.com/eps/coronavirus>

For businesses: <https://www.fcgov.com/business/>

Want to help: <https://www.fcgov.com/volunteer/>

### **Recursos COVID-19**

Para integrantes de la comunidad: <https://www.fcgov.com/eps/coronavirus>

Para empresas: <https://www.fcgov.com/business/>

¿Quieres ayudar o necesitas ayuda? <https://www.fcgov.com/neighborhoodservices/adopt>

Recursos de United Way: <https://uwaylc.org/>

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**From:** Ralph Shields <rshields@bellisimoinc.com>  
**Sent:** Thursday, August 27, 2020 4:38 PM  
**To:** Noah Beals <nbeals@fcgov.com>  
**Cc:** Jennifer Luther <jluther@fcgov.com>; Kacee Scheidenhelm <kscheidenhelm@fcgov.com>  
**Subject:** [EXTERNAL] Re: Zoning Board of Appeals (September - December)

I agree with the recommendation.

Thanks

Ralph Shields  
970.231.7665

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**From:** Noah Beals <[nbeals@fcgov.com](mailto:nbeals@fcgov.com)>  
**Sent:** Thursday, August 27, 2020 3:36 PM  
**To:** Ralph Shields <[rshields@bellisimoinc.com](mailto:rshields@bellisimoinc.com)>  
**Cc:** Jennifer Luther <[jluther@fcgov.com](mailto:jluther@fcgov.com)>; Kacee Scheidenhelm <[kscheidenhelm@fcgov.com](mailto:kscheidenhelm@fcgov.com)>  
**Subject:** Zoning Board of Appeals (September - December)

Hello Chair-person Shields,

Since May the ZBA has conducted a remote hearing. These remote hearings appear to have met the needs of the board members and the applicants. The concerns that prompted these remote meetings have not dissipated.

- Health risks during a world-wide pandemic
- Difficulties in coordinating logistics for an in-person meeting or hybrid of such

It is staff recommendation to continue with a remote hearing September through December meeting of the ZBA.

Please respond to this email with your agreement with this recommendation or other suggestions for this hearing.

Kind Regards,

Noah Beals  
*Senior City Planner-Zoning*  
970 416-2313



[Tell us about our service, we want to know!](#)

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**COVID19 Resources**

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For businesses: <https://www.fcgov.com/business/>

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Recursos de United Way: <https://uwaylc.org/>

# Zoning Variance Guidelines

**The Zoning Board of Appeals and Planning, Development & Transportation (PDT) Director have been granted the authority to approve variances** from the requirements of the Land Use Code Articles 3 and 4. The Zoning Board of Appeals shall not authorize any use in a zoning district other than those uses which are specifically permitted in the zoning district.

The Board may grant variances where it finds that the modification of the standard **would not be detrimental to the public good**. Additionally, the variance request must meet at least one of the following justification reasons:

1. by reason of exceptional physical conditions or other extraordinary and exceptional situations unique to the property, including, but not limited to physical conditions such as exceptional narrowness, shallowness, or topography, the strict application of the code requirements would result in unusual and exceptional practical difficulties or undue hardship upon the occupant/applicant of the property, provided that such difficulties or **hardship** are not caused by an act or omission of the occupant or applicant (i.e.; not self-imposed);
2. the proposal will promote the general purpose of the standard for which the variance is requested **equally well or better than** would a proposal which complies with the standard for which the variance is requested;
3. the proposal will not diverge from the Land Use Code standards except in a **nominal, inconsequential way** when considered in the context of the neighborhood.

## **EACH VARIANCE REQUEST WILL BE ADDRESSED IN ONE OF TWO WAYS:**

1. The **PDT Director** may review variance requests that meet the following criteria:
  - a. A setback encroachment of up to 10%
  - b. A fence height increase of up to 1 foot.
  - c. In the N-C-L, N-C-M, and N-C-B zone districts, the allowable floor area in the rear half of the lot increase of up to 10%, provided the increase does not exceed the allowable floor area for the entire lot.
  - d. A building height increase of up to 1 foot.
2. The **Zoning Board of Appeals** will hear all other variances that do not fall within the above criteria.
  - **Hearing Deadline:** The normal deadline for applying for a variance is no later than 3:00 p.m., the second Tuesday of the month prior to the month of the meeting. However, two or three times per year the deadline for applying may differ, so it is a good idea to check with the Zoning Department to confirm the date.
  - **Hearing Location:** The Zoning Board of Appeals meets on the second Thursday of each month beginning at 8:30 a.m. at City Hall in the City Council Chambers at 300 LaPorte Avenue.  
**The petitioner or his/her representative must appear at the meeting.**

**This application is only for a variance to the Land Use Code. Building Code requirements will be determined and reviewed by the Building Department separately. When a building or sign permit is required for any work for which a variance has been granted, the permit must be obtained within 6 months of the date that the variance was granted.** However, for good cause shown, the PDT Director may consider a one-time 6-month extension to any approved variance if reasonable and necessary under the facts and circumstances of the case. An extension request must be submitted before 6 months from the date that the variance was granted has lapsed.

## SUBMITTAL REQUIREMENTS

The application for a variance must contain the following:

- A. **Application form and filing fee** (\$25.00) plus \$.75 (75 cents) for each address included in section D below. The required information must be submitted to Zoning Staff prior to the application deadline. The applicant must sign the application form for the request to be placed on the Zoning Board of Appeals agenda. The Zoning Office is located on the first floor at 281 N. College Avenue.
- B. **A digital copy of the application materials** must be submitted via flash drive. Please include:
  1. Written statement explaining reason for requesting variance
  2. Site or plot plan of the property, drawn to scale, showing setbacks.
  3. Landscape plan
  4. Project or Sign drawings
  5. Architectural elevations
  6. Other relevant documentation
- C. **Notification letters will be mailed to neighboring owners.** Staff will generate the list of names and mailing addresses of all owners of record of adjacent property within 150 feet of all the subject property for most applications. However, the N-C-L and N-C-M zones require a list of names and mailing addresses within 500 feet of the subject property when planned construction of in a 2 story house if the house on the abutting lot is 1 story; or if construction of a new house is greater than 2,500 square feet; or if an addition results in a total square footage of more than 3,000 square feet. Staff will mail notification letters with a description of the variance request to these owners before the Zoning Board of Appeals meeting.

### **Procedure to appeal the Board's decision**

- A. Any decision made by the Zoning Board of Appeals may be appealed to the City Council, but no new information can be presented.
- B. Any party who wishes to appeal a Zoning Board of Appeals decision must submit a written protest to the City Clerk within fourteen (14) days of the date of the Zoning Board of Appeals decision. The submittal form can be found on the City Clerk's website at [www.fcgov.com/cityclerk/appeals.php](http://www.fcgov.com/cityclerk/appeals.php)

## WHAT TO EXPECT AT THE ZONING BOARD OF APPEALS MEETING

- **Roll Call**
- **Approval of Minutes from previous meeting**
- **Staff Presentation**
- **Applicant Presentation**
- **Audience Participation:** Any interested parties may speak in favor or in opposition of petitioner's variance request.
- **Board Discussion:** The Board will discuss the variance request, ask additional questions, and reach a decision or table the item.
- **Vote:** The Board will vote to approve, approve with conditions, deny, or table the variance request. Any decision made by the Zoning Board of Appeals may be appealed to the City Council.

**FOR ADDITIONAL INFORMATION REGARDING THE ZONING VARIANCE PROCESS, PLEASE CONTACT OR VISIT THE CITY OF FORT COLLINS ZONING DEPARTMENT AT 281 N. COLLEGE AVENUE; 970-416-2745; OR EMAIL [Zoning@fcgov.com](mailto:Zoning@fcgov.com)**



## Application Request for Variance from the Land Use Code

The Zoning Board of Appeals has been granted the authority to approve variances from the requirements of Articles 3 and 4 of the Land Use Code. The Zoning Board of Appeals shall not authorize any use in a zoning district other than those uses which are specifically permitted in the zoning district. The Board may grant variances where it finds that the modification of the standard **would not be detrimental to the public good**. Additionally, the variance request must meet at least one of the following justification reasons:

- (1) by reason of exceptional physical conditions or other extraordinary and exceptional situations unique to the property, including, but not limited to physical conditions such as exceptional narrowness, shallowness, or topography, the strict application of the code requirements would result in unusual and exceptional practical difficulties or undue hardship upon the occupant/applicant of the property, provided that such difficulties or **hardship** are not caused by an act or omission of the occupant/applicant (i.e. not self-imposed);
- (2) the proposal will promote the general purpose of the standard for which the variance is requested **equally well or better than** would a proposal which complies with the standard for which the variance is requested;
- (3) the proposal will not diverge from the Land Use Code standards except in a **nominal, inconsequential way** when considered in the context of the neighborhood.

**This application is only for a variance to the Land Use Code. Building Code requirements will be determined and reviewed by the Building Department separately. When a building or sign permit is required for any work for which a variance has been granted, the permit must be obtained within 6 months of the date that the variance was granted.**

However, for good cause shown by the applicant, the Zoning Board of Appeals may consider a one-time 6 month extension if reasonable and necessary under the facts and circumstances of the case. An extension request must be submitted before 6 months from the date that the variance was granted has lapsed.

**Petitioner or Petitioner’s Representative must be present at the meeting**

**Location:** 300 LaPorte Ave, Council Chambers, Fort Collins, CO 80524

**Date:** Second Thursday of the month      **Time:** 8:30 a.m.

<b>Variance Address</b>		<b>Petitioner’s Name, if not the Owner</b>	
<b>City</b>	Fort Collins, CO	<b>Petitioner’s Relationship to the Owner is</b>	
<b>Zip Code</b>		<b>Petitioner’s Address</b>	
<b>Owner’s Name</b>		<b>Petitioner’s Phone #</b>	
<b>Code Section(s)</b>		<b>Petitioner’s Email</b>	
<b>Zoning District</b>		<b>Additional Representative’s Name</b>	
<b>Justification(s)</b>		<b>Representative’s Address</b>	
<b>Justification(s)</b>		<b>Representative’s Phone #</b>	
<b>Justification(s)</b>		<b>Representative’s Email</b>	
<b>Reasoning</b> If not enough room, additional written information may be submitted			

**Date** \_\_\_\_\_

**Signature** \_\_\_\_\_

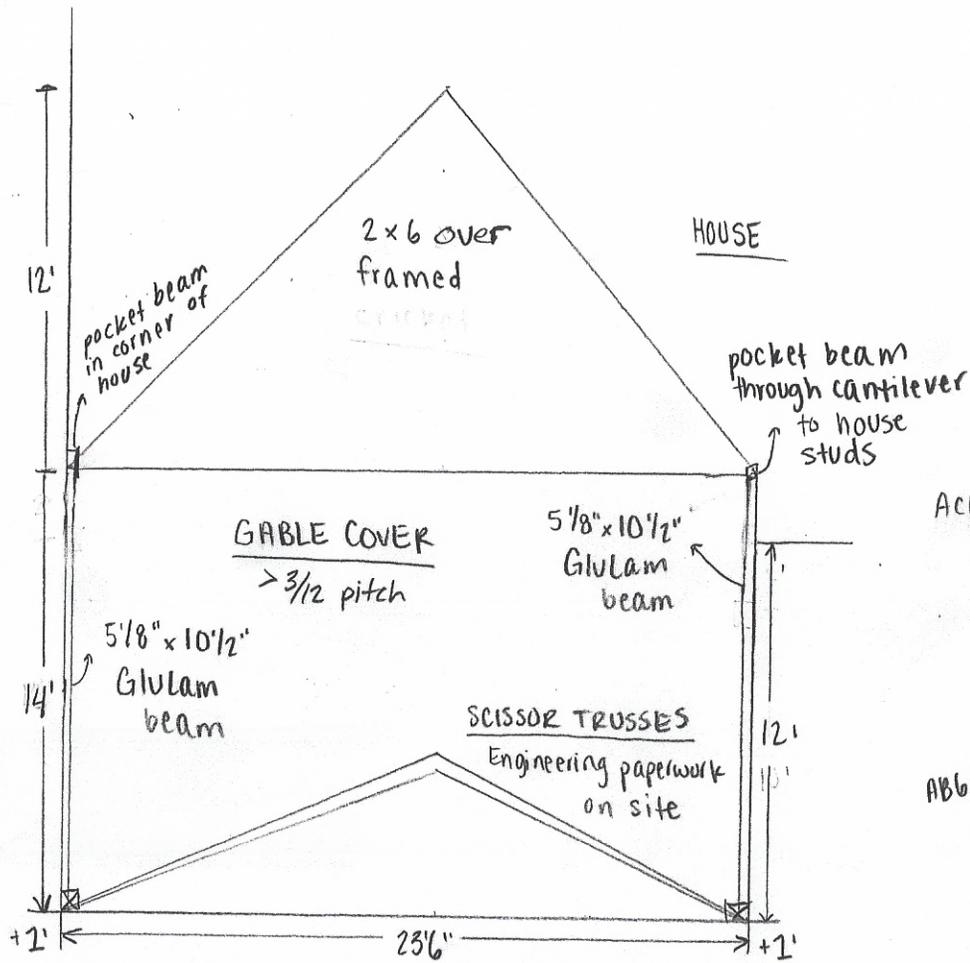
**5830 Southridge Greens Blvd – Rear Setback Variance for Patio Cover**

Homeowner: Renee Long

Contractor: TNT LLC

We are applying for a setback variance in order to construct a new gabled patio cover for homeowner Renee Long at 5830 Southridge Greens Blvd. The current design for the cover is encroaching 2' into the 15' rear setback, putting it at 13' away from the rear property line. We are not trying to extend any further than the patio already extends; the gable will cover their existing mason patio.

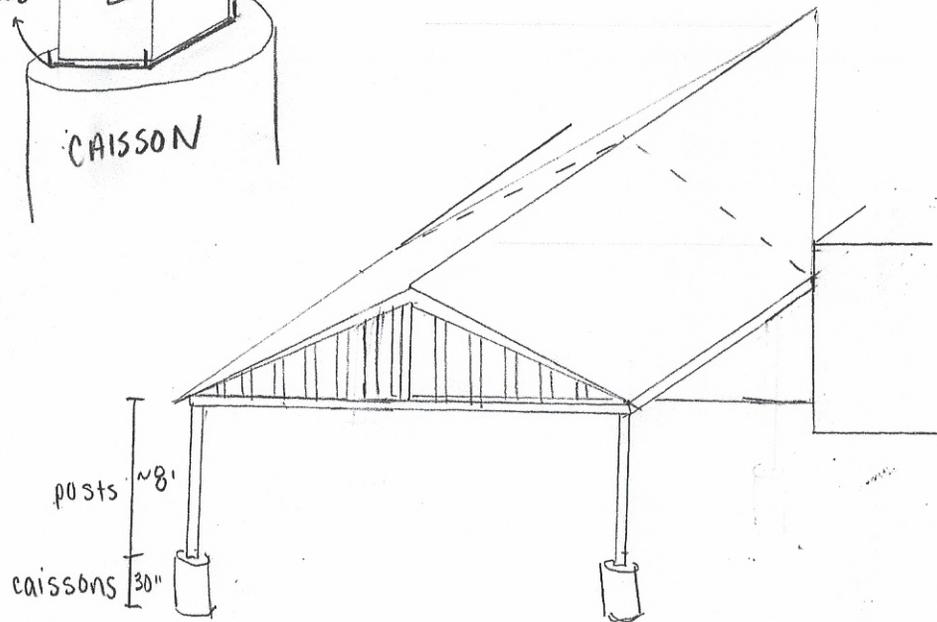
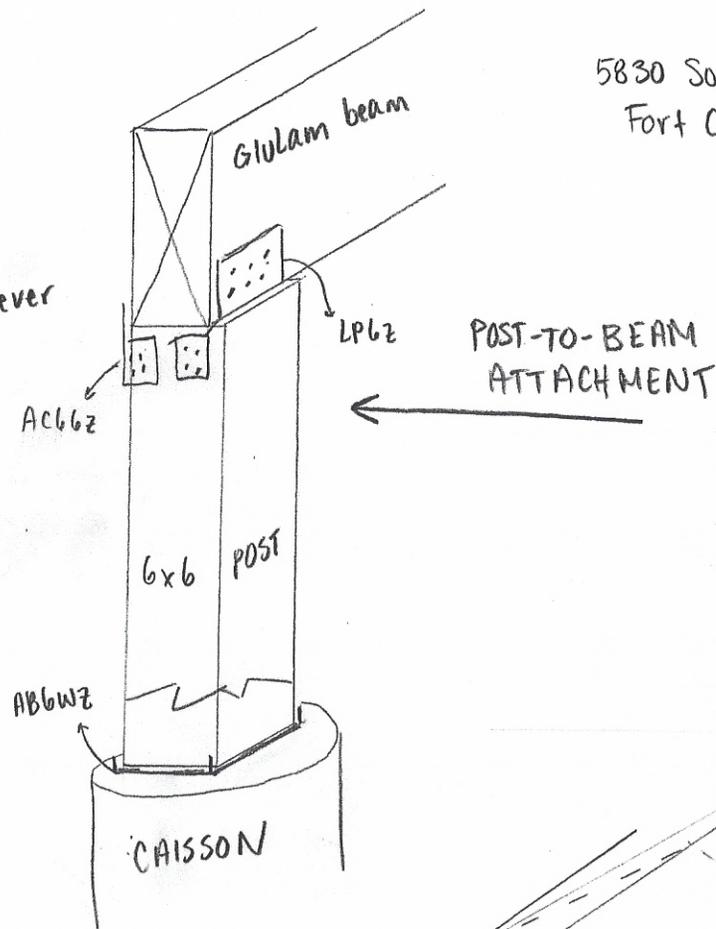
Our justification is that "the proposal will not diverge from the Land Use Code standard except in a nominal, inconsequential way when considered in the context of the neighborhood." This patio cover will not only add value to the home and be aesthetically pleasing, but it will also allow the homeowners to make better use of their backyard space. The patio cover will provide shade and protection from the weather.



COVER

- ☒ 6x6 posts on 14" x 30" caissons (size to be approved by engineer)
- Cedar tongue-and-groove interior soffit
- Outer beam w/vertical trim accents (decorative)
- Shingles/gutters to match house
- Glulam span: pg 26/52

\* Install (2) Velux 18" x 48" skylights in cover



Long

5830 Southridge Greens Blvd  
Fort Collins, CO 80525

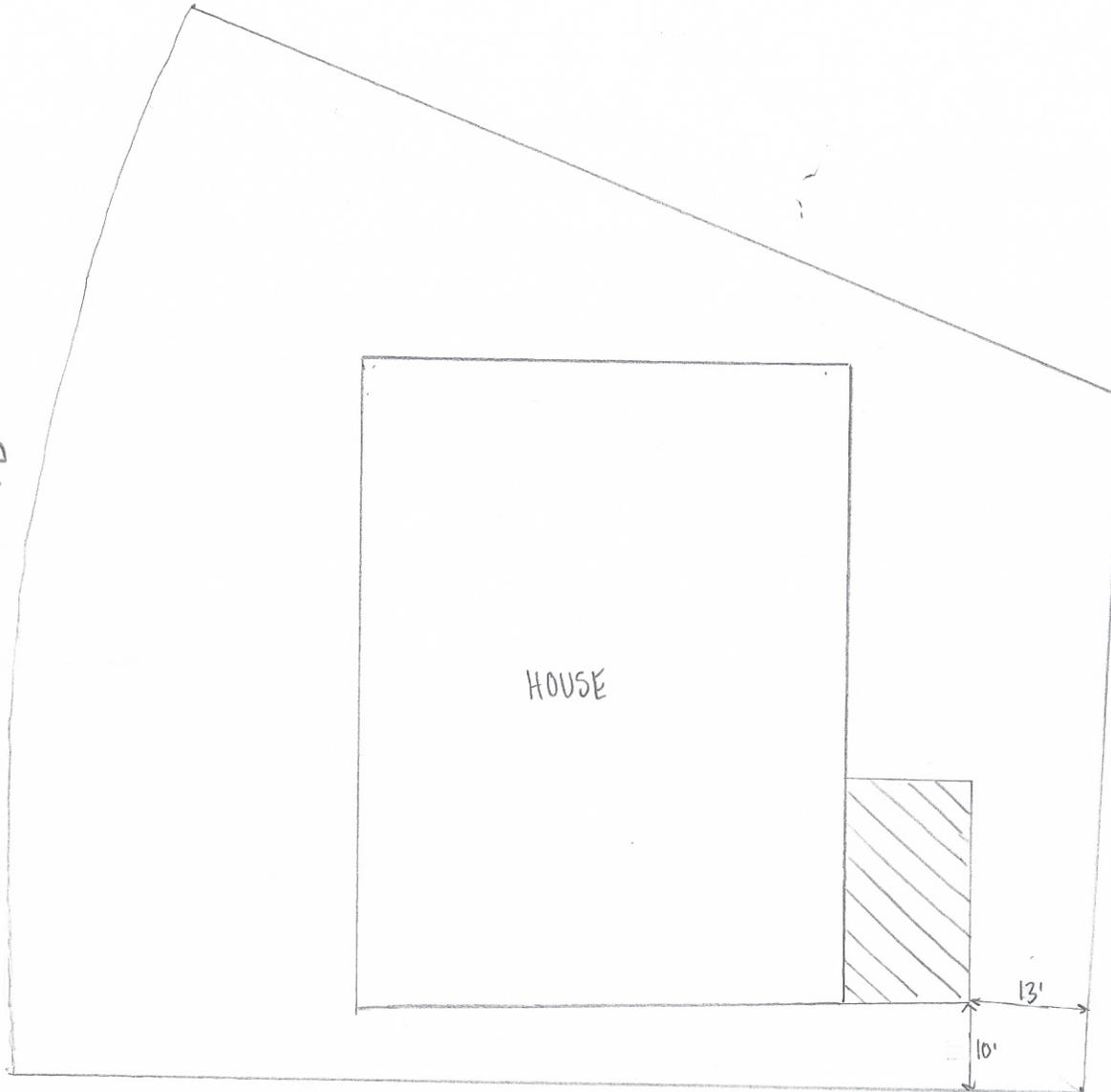
1/6" = 1'

Long  
5830 Southridge Greens Blvd  
Fort Collins, CO 80525

1" = 20'    ↑ N

▨ Proposed 14' x 23.5'  
gable cover

SOUTH RIDGE GREENS BLVD







## Application Request for Variance from the Land Use Code

The Zoning Board of Appeals has been granted the authority to approve variances from the requirements of Articles 3 and 4 of the Land Use Code. The Zoning Board of Appeals shall not authorize any use in a zoning district other than those uses which are specifically permitted in the zoning district. The Board may grant variances where it finds that the modification of the standard **would not be detrimental to the public good**. Additionally, the variance request must meet at least one of the following justification reasons:

- (1) by reason of exceptional physical conditions or other extraordinary and exceptional situations unique to the property, including, but not limited to physical conditions such as exceptional narrowness, shallowness, or topography, the strict application of the code requirements would result in unusual and exceptional practical difficulties or undue hardship upon the occupant/applicant of the property, provided that such difficulties or **hardship** are not caused by an act or omission of the occupant/applicant (i.e. not self-imposed);
- (2) the proposal will promote the general purpose of the standard for which the variance is requested **equally well or better than** would a proposal which complies with the standard for which the variance is requested;
- (3) the proposal will not diverge from the Land Use Code standards except in a **nominal, inconsequential way** when considered in the context of the neighborhood.

**This application is only for a variance to the Land Use Code. Building Code requirements will be determined and reviewed by the Building Department separately. When a building or sign permit is required for any work for which a variance has been granted, the permit must be obtained within 6 months of the date that the variance was granted.**

However, for good cause shown by the applicant, the Zoning Board of Appeals may consider a one-time 6 month extension if reasonable and necessary under the facts and circumstances of the case. An extension request must be submitted before 6 months from the date that the variance was granted has lapsed.

**Petitioner or Petitioner's Representative must be present at the meeting**

**Location:** 300 LaPorte Ave, Council Chambers, Fort Collins, CO 80524

**Date:** Second Thursday of the month      **Time:** 8:30 a.m.

Variance Address	1501 Peterson Street	Petitioner's Name, if not the Owner	Blue Pine Construction Inc.
City	Fort Collins, CO	Petitioner's Relationship to the Owner is	Contractor
Zip Code	80524	Petitioner's Address	P.O. Box 1639
Owner's Name	Robert and Sally Linton	Petitioner's Phone #	970-999-2393
Code Section(s)		Petitioner's Email	mike@bluepineconstruction.com
Zoning District	NCL	Additional Representative's Name	
Justification(s)	3. Nominal and inconsequential <input type="checkbox"/>	Representative's Address	
Justification(s)	Additional Justification	Representative's Phone #	
Justification(s)	Additional Justification	Representative's Email	
Reasoning <small>If not enough room, additional written information may be submitted</small>	The garage on the property was previously granted a variance and we would like to build a patio cover on the back of the garage of the same width. The patio cover would not be very visible from outside the back yard and would not have an impact on the neighborhood.		

Date 9-4-2020

Signature



9-4-2020

City of Fort Collins - Zoning

Application Request for Variance from the Land Use Code adding to previously approved abnormality.

To the members of the zoning board:

Blue Pine Construction Inc. on behalf of Robert and Sally Linton of 1501 Peterson Street Fort Collins, CO 80524 request a variance for the setback on the North (Lake Street) side of the home that sits on the corner of Lake and Peterson streets.

In 2017 a setback variance was granted allowing a detached garage 21' x 22'6" to be built on the property to encroach 4' into the North side setback. The homeowners would like to add a 22'6" x 14' patio cover on the west side of the garage that would maintain the same 4' encroachment for an additional 14' to the West. The setback is set at 15 feet and we are requesting a variance to 11 feet to match the garage on the Lake Street side.

We have included the site plan, permit drawings and engineering already prepared for the project. We also have gotten a Certificate of Appropriateness from Historic Preservation Services. Please see the pictures included in this email. They will show that the patio cover will hardly be visible from the street.

Please let us know if there are any additional questions.

Blue Pine Construction Inc.



## Historic Preservation Services

### Community Development & Neighborhood Services

281 North College Avenue  
P.O. Box 580  
Fort Collins, CO 80522.0580

970.416.4250

[preservation@fcgov.com](mailto:preservation@fcgov.com)

[fcgov.com/historicpreservation](http://fcgov.com/historicpreservation)

## CERTIFICATE OF APPROPRIATENESS

**ISSUED: August 11, 2020**

**EXPIRATION: August 11, 2021**

Robert & Sally Linton  
1501 Peterson St.  
Fort Collins, CO 80524

Dear Mr. and Mrs. Linton:

This letter provides you with confirmation that the proposed changes to your designated Fort Collins landmark property, the Crane Property at 1501 Peterson Street have been approved by the City's Historic Preservation Division because the proposed work meets the criteria and standards in Chapter 14, [Article IV](#) of the Fort Collins Municipal Code.

- 1) Addition onto south elevation of c.2001 garage addition.

Notice of the approved application has been provided to building and zoning staff to facilitate the processing of any permits that are needed for the work.

Please note that all ensuing work must conform to the approved plans. Any non-conforming alterations are subject to stop-work orders, denial of Certificate of Occupancy, and restoration requirements and penalties.

If the approved work is not completed prior to the expiration date noted above, you may apply for an extension by contacting staff at least 30 days prior to expiration. Extensions may be granted for up to 12 additional months, based on a satisfactory staff review of the extension request.

Property owners can appeal staff design review decisions by filing a written notice of appeal to the Director of Community Development & Neighborhood Services within fourteen (14) days of this decision. If you have any questions regarding this approval, or if I may be of any assistance, please do not hesitate to contact me. I may be reached at [jbertolini@fcgov.com](mailto:jbertolini@fcgov.com) or 970-416-4250.

Sincerely,

Jim Bertolini  
Historic Preservation Planner

Applicable Code Standard	Summary of Code Requirement and Analysis (Rehabilitation)	Standard Met (Y/N)
SOI #1	<i>A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;</i>	Y
SOI #2	<p><i>The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.</i></p> <p><b>The addition is a relatively small covered patio addition to a non-historic garage. The existing garage does convey a stylistic connection to the primary historic house via a pyramidal roof that would be altered by extending the hipped-roof on the garage to the west. However, this addition will not affect the historic house, is not affecting any historic landscape features, and the modification to the non-historic addition will not significantly detract from the historic building.</b></p>	Y
SOI #3	<p><i>Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.</i></p> <p><b>The new patio is compatible with the 2001 garage and the overall property, but both are clearly distinguishable as new construction.</b></p>	Y
SOI #4	<i>Changes to a property that have acquired historic significance in their own right will be retained and preserved.</i>	N/A
SOI #5	<i>Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.</i>	N/A
SOI #6	<i>Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.</i>	N/A
SOI #7	<i>Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.</i>	N/A
SOI #8	<p><i>Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.</i></p> <p><b>Excavation depth for new pavers and pier footings is too shallow for archaeological discoveries to be likely.</b></p>	N/A

<p><b>SOI #9</b></p>	<p><i>New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p> <p><b>The garage addition was constructed in 2001 prior to the property being Landmarked. It is generally compatible with the design of the historic house facing Peterson Street. The patio addition onto the non-historic garage is on a secondary elevation, extends the hipped roof of the 2001 garage to the west allowing the garage addition to retain its design compatibility with the historic building, and will have an overall minimal effect on the property. The overall garage addition is clearly distinguished from the historic house as new construction through the use of modern fenestration and garage doors.</b></p>	<p><b>Y</b></p>
<p><b>SOI #10</b></p>	<p><i>New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i></p> <p><b>The patio addition is being made onto the garage which is a non-historic feature and is reversible without affecting the historic building.</b></p>	<p><b>N/A</b></p>

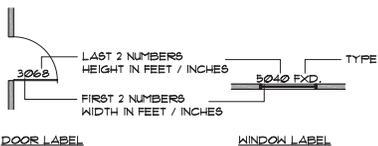
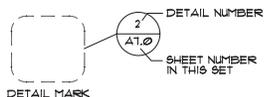
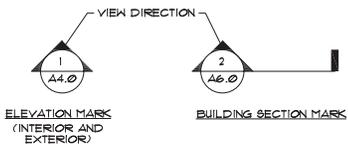






# PATIO COVER FOR: 1501 PETERSON STREET FORT COLLINS - COLORADO

## SYMBOLS LEGEND



## ABBREVIATIONS

AB	ANCHOR BOLT	FF	FINISHED FLOOR
ADJ	ADJUSTABLE	FLR	FLOOR
BLDG	BUILDING	FT	FEET
BLK	BLOCK	GA	GALVE
BM	BEAM	ML	MICRO-LAM
CAB	CABINET	MTL	METAL
CL	CENTER LINE	OC	ON CENTER
CLG	CEILING	OHC	OVER-HEAD CABINET
CLR	CLEAR	PL	TOP PLATE
CMU	CONC. MASONRY UNIT	PT	PRESSURE TREATED
CONC	CONCRETE	RAD	RADIUS
CONT	CONTIGUOUS	RAS	ROOF AND SHELF
DBL	DOUBLE	RS	SIMILAR
DIA	DIAMETER	SQ	SQUARE
DN	DOWN	STL	STEEL
DWG	DRAWING	TOP	TOP OF FOUNDATION
EA	EACH	TOS	TOP OF SLAB
EQ	EQUAL	TON	TOP OF WALL
FDR	FLOOR DRAIN	TYP	TYPICAL
FDN	FOUNDATION	UNO	UNLESS NOTED OTHERWISE
		WD	WOOD

## CONTRACTOR NOTES:

- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, CODES, AND OWNER REQUIREMENTS UNDER WHICH THE WORK IS TO BE PERFORMED, AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. THIS SHALL BE DONE PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- PROSPECTIVE SUB-CONTRACTORS SHALL SECURE ALL DATA AT THE SITE OF PROPOSED CONSTRUCTION SUCH AS CONVENIENCE OF RECEIVING AND SORTING MATERIALS STAGING AREAS, LOCATION OF PUBLIC SERVICES, AND OTHER INFORMATION WHICH WILL HAVE INFLUENCE ON MAKING THEIR PROPOSALS OR ON THE EXECUTION OF THE WORK. NO ALLOWANCES WILL BE MADE FOR FAILURE OF THE SUB-CONTRACTOR TO OBTAIN SUCH ON-SITE INFORMATION PRIOR TO SIGNING OF THE CONTRACT.
- SHOULD EITHER THE DRAWINGS AND THE SPECIFICATIONS, OR ANY PARTICULAR SPECIFICATION, AND THE GENERAL CONDITIONS CONTRADICT EACH OTHER IN ANY POINT, OR REQUIRE CLARIFICATION, THE CONTRACTOR MUST CALL THE SAME TO THE ATTENTION OF THE DESIGNER, AND HIS DECISION SHALL BE OBTAINED PRIOR TO SIGNING THE CONTRACT FOR CONSTRUCTION.
- THE CONTRACTOR AND EACH SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT AND IN THE PROPOSED CONSTRUCTION BUILDING OR SITE OR SURROUNDINGS. NO CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCES BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSIONS WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE DESIGNER FOR HIS CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREA.
- EACH CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENT AND SHALL REPORT TO THE DESIGNER ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER. FURTHER, THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE BELIEVES TO BE CONTRARY TO HIS KNOWLEDGE OF GOOD CONSTRUCTION STANDARDS AND PRACTICES AND SHALL NOT USE ANY SUBSTANDARD MATERIAL.
- CONTRACTOR SHALL FOLLOW SIZES IN SPECIFICATIONS OR DIMENSIONED FIGURES ON DRAWINGS IN PREFERENCE TO SCALE REQUIREMENTS AND FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS.
- WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK, OR OF A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIVE AND SO CONSTRUCTED.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE SUPPLEMENTARY AND SUPPLEMENTARY. SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR THE PROPER INSTALLATION OR COMPLETION WITH CODES OR STANDARDS LISTED OR DEPICTED HEREIN SHALL BE INCLUDED IN THE WORK.



LIKE US ON FACEBOOK!

970 \* 584 \* 8471

STUDIOGDESIGNLLC.COM

## DESIGN TEAM

**BUILDER:**  
BLUE PINE CONSTRUCTION, INC.  
P.O. BOX 1639  
WELLINGTON, COLORADO 80649  
970-412-9888

**DESIGNER:**  
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STUDIOGDESIGNLLC@COMCAST.NET  
970-584-8471

**STRUCTURAL ENGINEER:**  
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4836 S. COLLEGE AVENUE  
FORT COLLINS, COLORADO 80525  
970-226-5334  
BBRUCKBAUER@SHEARENGINEERING.COM

## SHEET INDEX

A1.0	ARCHITECTURAL COVER SHEET
A2.0	SITE PLAN
A3.1	COVERED PATIO FLOOR PLAN / EXTERIOR ELEVATIONS
A4.0	ROOF DRAINAGE PLAN / BUILDING SECTIONS

E-1 ELECTRICAL COVERED PATIO ELECTRICAL PLAN

## PROJECT SCOPE

- INSTALLING A NEW COVERED PATIO
- CONNECTING TO EXISTING GARAGE
- NEW CONCRETE PATIO SLAB
- NEW CONCRETE DRILLED PIERS
- NEW POSTS & BEAMS
- NEW HIP ROOF TO TIE INTO EXISTING HIP ROOF

STRUCTURAL COMPONENTS DESIGNED BY SHEAR ENGINEERING PROVIDED SUPPLEMENTAL LETTER.

## CODE SUMMARY

THIS PROJECT SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, ALL APPLICABLE LOCAL ORDINANCES AND REQUIREMENTS FOR FORT COLLINS, LARIMER COUNTY, COLORADO.

## GENERAL NOTES:

1) DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS - DO NOT SCALE. ALL DIMENSIONS GIVEN TO FACE OF STUD.

2) ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL STATE AND LOCAL CODES. SECURE ALL PERMITS AND APPROVALS PRIOR TO ANY CONSTRUCTION.

3) CONTRACTOR SHALL EXAMINE AND VERIFY ALL DIMENSIONS AND CONDITIONS BOTH ON THE PLAN AND IN THE FIELD, AND BE RESPONSIBLE FOR ANY ADJUSTMENTS AND/OR CORRECTIONS.

4) OWNER TO PROVIDE:

COLOR SELECTIONS  
EXACT SPECIFICATIONS  
LANDSCAPE PLANS  
FIELD SUPERVISION

5) CONTRACTOR SHALL VERIFY EXISTING SOIL CONDITIONS AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES TO THE ASSUMPTIONS OF THE SOILS REPORT. PROVIDE CONTROL JOINTS AT ALL SLAB CONDITIONS.

6) PROVIDE TEMPERED GLASS AT SLIDING DOORS AND AREAS SUBJECT TO HUMAN IMPACT SHALL BE PER LOCAL CODE. SAFETY GLAZING IS REQUIRED IN WINDOWS WITHIN A 24" ARC OF A DOOR AND LESS THAN 60" ABOVE THE FLOOR WITHIN 3' OF STAIRS AND LANDINGS WHEN THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR (9" IN ANY DIRECTION FROM THE BOTTOM TREAD) AND ADJACENT TO BATH/TUBS OR SHOWERS WHEN LESS THAN 60" ABOVE THE WALKING/STANDING SURFACE. (SEE SEC. R308.4 FOR FURTHER INFORMATION)

7) ALL EXTERIOR DOORS AND DOORS LEADING TO UNHEATED AREAS ABOVE GRADE SHALL BE WEATHERSTRIPPED.

8) INSULATION - R-VALUES NOT PART OF SCOPE FOR PATIO COVER

9) PROVIDE COMBUSTION AIR TO FURNACE AND WATER HEATER PER LOCAL BUILDING CODE.

10) EXTERIOR OPENINGS EXPOSED TO WEATHER (16 CONCRETE SLAB) SHALL BE FLASHED TO PREVENT WATER PENETRATING THE FOUNDATION.

11) PROVIDE ROOF VENTILATION AS REQUIRED PER SECTION R906.

12) PROVIDE 5/8" TYPE-X GYP. BOARD UNDER STAIRS IF SPACE IS ENCLOSED.

13) INSTALL GUTTERS AT ALL HORIZONTAL FASCIAS PER CODE. DOWNSPOUTS TO HAVE 4" ADJUSTABLE EXTENDERS TYP. ALL EXPOSED METAL SHALL BE PAINTED TO MATCH COLOR OF SURFACE.

14) ALL TUB AND SHOWER ENCLOSURES SHALL BE FINISHED WITH NON-ABSORBENT SURFACES AND FIXTURE PENETRATIONS TO BE SEALED.

15) SHOWERS AND TUB/SHOWER COMBINATIONS MUST BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPPS ARE REQUIRED AND MUST BE ADJUSTED PER THE MFG'S INSTRUCTIONS TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120 DEGREES.

16) EVERY SLEEPING ROOM SHALL HAVE ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EXIT OR RESCUE. WHERE SUCH WINDOWS ARE PROVIDED, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR AND THE OPENING SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 20", A MINIMUM CLEAR HEIGHT OF 24", AND A CLEAR OPENING OF 5.7 GOFT. PER SECTION R310.

17) MAXIMUM BASEMENT SILL HEIGHT SHALL BE 44" ABOVE FLOOR AND MAX. WELL DEPTH SHALL BE 44" BELOW GRADE. EGRESS WINDOWS FROM THE BASEMENT MUST BE PROVIDED WITH AN EGRESS WINDOW WELL. IF THE WINDOW HEIGHT IS BELOW THE ADJOINING FINISHED GRADE, THE WINDOW WELL MUST HAVE A MIN. CLEAR AREA OF 9 SQFT. AND A MIN. PROJECTION AND WIDTH OF 36". IF THE WINDOW WELL GREATER THAN 44" DEEP, IT SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION OR ENCROUGH MORE 6" INTO THE CLEAR AREA. PER SECTION R310.

18) PROVIDE 4" DIA. MOISTURE EXHAUST DUCT FOR CLOTHES DRYER. LENGTH SHALL NOT EXCEED 25'. SEE SECTION M901.

19) PROVIDE ACCESS PANEL TO WHIRLPOOL TUB PER SEC. P2120.1

20) ALL BASEMENT DAMPROOFING TO BE PER SECTION R406 AND SPRAYED ON BASEMENT AND CRAWLSPACE EXTERIOR SURFACES.

21) BATHROOMS AND WATER CLOSET AREAS MUST BE VENTILATED PER SECTION M906.

22) FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. ONLY FIREPLACE AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.

23) FUEL FIRE EQUIPMENT (FURNACE, WATER HEATER, ETC.) MUST BE PROVIDED WITH ADEQUATE OUTSIDE COMBUSTION AIR. A MIN. OF TWO DUCTS OR OPENINGS IS REQUIRED: ONE WITHIN 12" OF THE CEILING AND ONE WITHIN 12" OF THE FLOOR. THE MIN. SIZE OF THE DUCTS IS DETERMINED BY THE COMBINED BTU RATINGS OF THE EQUIPMENT SERVED. SEE CHAPTER 11, IRC FOR FURTHER INFORMATION.

DATE	03-08-20
DESIGNED BY	M.R. GOMEZ
CHECKED BY	J.C. GOMEZ
SHEET	A1.0

ISSUE REVISION

DATE

07/31/20

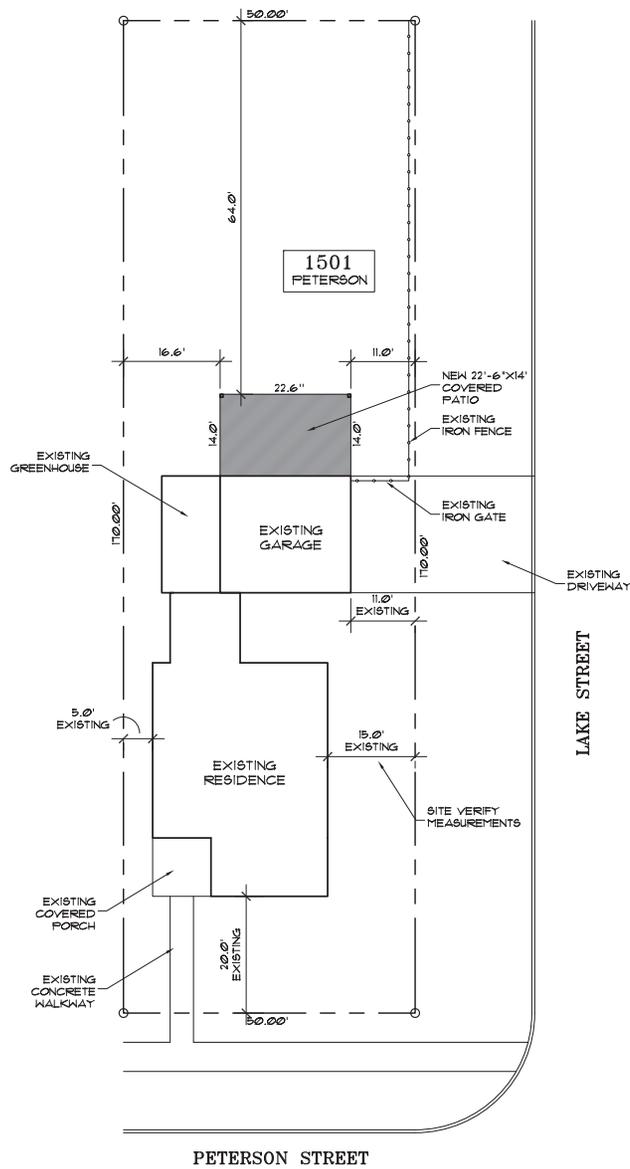
ISSUED FOR PERMIT

STUDIO G DESIGN, LLC

1501 PETERSON STREET  
FORT COLLINS, COLORADO

STUDIOGDESIGNLLC.COM  
970-584-8471  
BY MARLA ESPANOL

THIS PROJECT HAS BEEN DESIGNED BY THE DESIGNER FOR THE PROJECT. THE DESIGNER HAS REVIEWED THE PROJECT FOR CONFORMANCE WITH ALL APPLICABLE LOCAL ORDINANCES AND REQUIREMENTS FOR FORT COLLINS, LARIMER COUNTY, COLORADO. THE DESIGNER HAS REVIEWED THE PROJECT FOR CONFORMANCE WITH ALL APPLICABLE LOCAL ORDINANCES AND REQUIREMENTS FOR FORT COLLINS, LARIMER COUNTY, COLORADO. THE DESIGNER HAS REVIEWED THE PROJECT FOR CONFORMANCE WITH ALL APPLICABLE LOCAL ORDINANCES AND REQUIREMENTS FOR FORT COLLINS, LARIMER COUNTY, COLORADO.



**SITE NOTES**

ALL SURFACE WATER SHALL DRAIN AWAY FROM THE STRUCTURE AS REQUIRED BY LOCAL STANDARDS TO AN APPROVED RECEPTOR OR EQ.

CONTRACTOR TO VERIFY HORIZONTAL PLACEMENT AND FINISH FLOOR ELEVATIONS WITH OWNER PRIOR TO EXCAVATIONS.

CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, EASEMENTS, PROPERTY LINES, ETC. PRIOR TO STARTING WORK. SHOULD ANY DISCREPANCIES, OMISSIONS, OR ERRORS OCCUR NOTIFY THE DESIGNER IMMEDIATELY.

(T.O.F.) INDICATES MINIMUM TOP OF FOUNDATION.

ANY GRADING SHOWN IS ONLY A GUIDE AND SHALL NOT BE USED FOR CALCULATING EXACT EXCAVATION QUANTITIES.

AN OPEN HOLE INSPECTION PERFORMED BY A LICENSED CIVIL ENGINEER IS HIGHLY RECOMMENDED TO VERIFY THAT SOILS ENCOUNTERED MATCHES THAT DESCRIBED IN THE SOILS REPORT.

WHERE DRAINS OCCUR THE DRAIN SHALL BE RUN TO DAYLIGHT WITH A SLOPE OF AT LEAST 1/4" PLF. AS AN ALTERNATIVE, THE DRAIN MAY BE RUN TO A SUMP, THEN PUMPED AWAY FROM THE FOUNDATION.

ALL EXTERIOR CONC. FLATWORK TO BE A MIN. (4" THICK 3000 PSI CONC. W/ FIBER MESH) OVER 2" THICK GRAVEL OR COMPACTED SAND BASE OVER PROPERLY COMPACTED GRADE. VERIFY FINISH W/ OWNER.

SITE PLAN IS BASED UPON IMPROVEMENT SURVEY FLAT DRAWING PROVIDED BY CITY OF FORT COLLINS PUBLIC RECORDS, DATED MAY 4, 2020

ALL MATERIALS TO BE DISPOSED OF OFF-SITE ARE TO BE DISPOSED OF IN A LAWFUL LANDFILL AND IN ACCORDANCE WITH GOVERNMENT REQUIREMENTS.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.



1 SITE PLAN  
1" = 10'-0"

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DATE	07/31/20

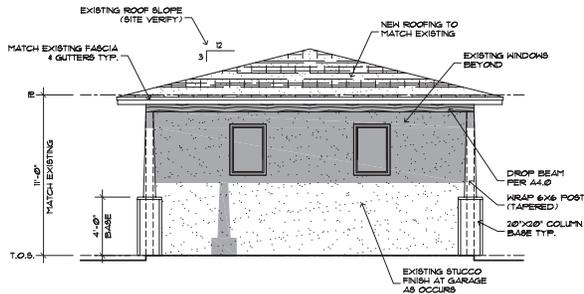
STUDIO & DESIGN, LLC  
 970-584-8871  
 8E MARLA ESPANOL

NEW PATIO COVER:  
 LINTON RESIDENCE  
 1501 PETERSON STREET  
 FORT COLLINS, COLORADO

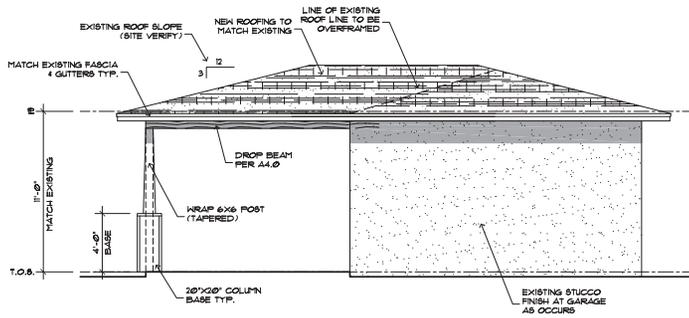
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DATE	03-08-20
DESIGN BY	MR. GOMEZ
CHECKED BY	J.C. GOMEZ
SHEET	A2.0

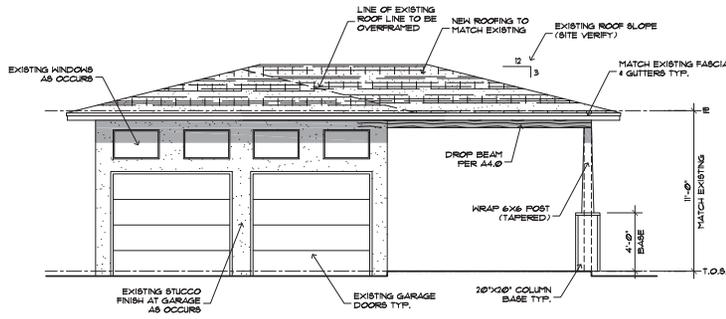
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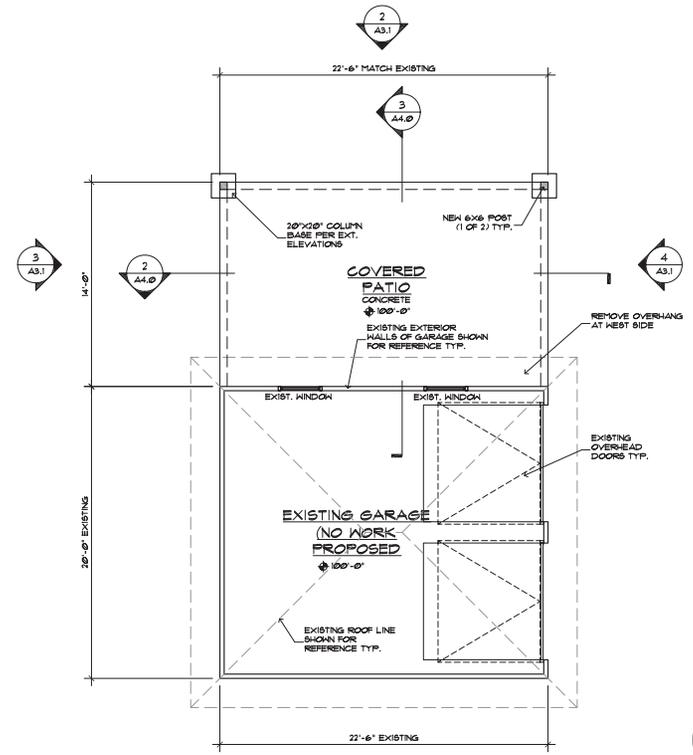
**2 WEST ELEVATION**  
1/4" = 1'-0"



**3 SOUTH ELEVATION**  
1/4" = 1'-0"



**4 NORTH ELEVATION**  
1/4" = 1'-0"



**1 PATIO FLOOR PLAN / POST LOCATIONS**  
1/4" = 1'-0"



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DATE: **03-08-20**

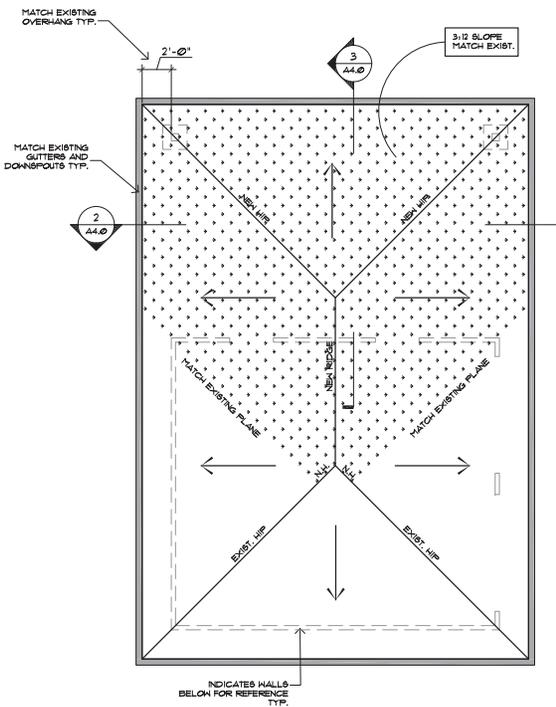
DESIGN BY: **MR. GOMEZ**

CHECKED BY: **J.C. GOMEZ**

SHEET

**A3.1**

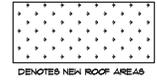
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**ROOF NOTES**

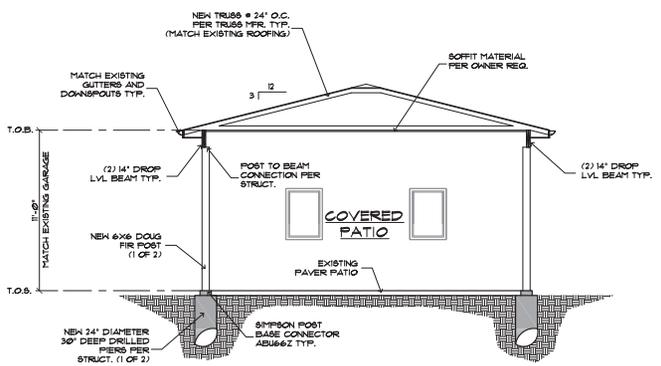
ROOF ASSEMBLIES SHALL COMPLY WITH CHAPTER 9, IRC.  
 UNDERLAYMENT TO BE (2) LAYERS OF 30# FELT.  
 ICE BARRIER: 2 LAYERS OF SELF ADHERED SHEETS SHALL BE INSTALLED AT ALL EAVES AND EXTEND FROM THE LOWEST EDGES OF ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING PER SEC. 905B.  
 ALL SHEET METAL ROOF PENETRATIONS TO BE PAINTED TO MATCH COLOR OF HOST ADJACENT ROOFING.  
 ALL VALLEYS TO HAVE CONTINUOUS SHEET METAL / SELF ADHERED FLASHING OR EQUAL. THEY MUST ALSO BE A CLOSED TYPE INSTALLATION.  
 DISCHARGE DOWNSPOUTS A MINIMUM OF 4 FEET AWAY FROM FOUNDATION.

**ROOF LEGEND**

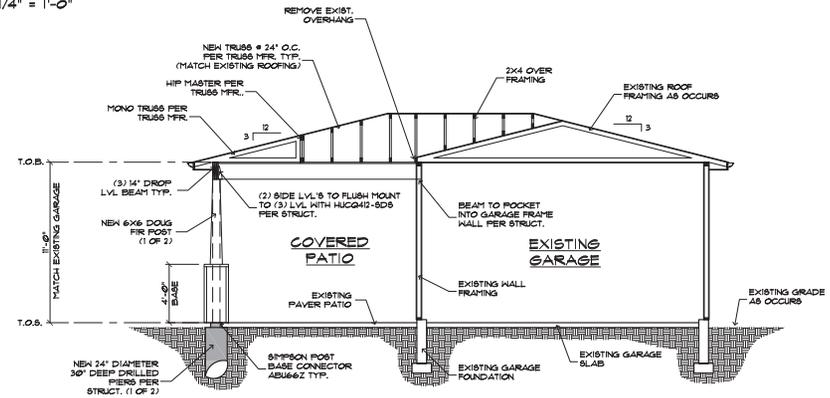


N.H. = NEW HIP  
 E.H. = EXISTING HIP

**1 ROOF DRAINAGE PLAN**  
 1/4" = 1'-0"



**2 BUILDING SECTION**  
 1/4" = 1'-0"



**3 BUILDING SECTION**  
 1/4" = 1'-0"

ISSUE/REVISION	ISSUED FOR PERMIT
DATE	07/21/20

  
 STUDIO & DESIGN, LLC  
 970-584-8871  
 8E MANILA ESPANOL, CO  
 87000DESIGN@GMAIL.COM

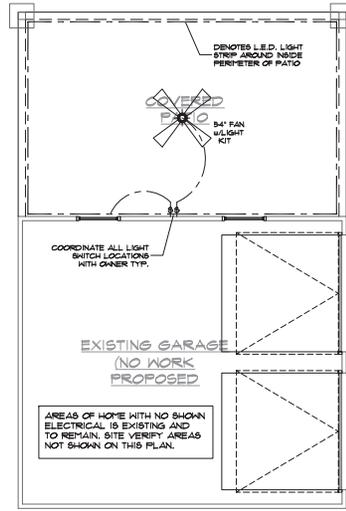
NEW PATIO COVER:  
 LINTON RESIDENCE  
 1501 PETERSON STREET  
 FORT COLLINS, COLORADO

DESIGN BY: **MR. GOMEZ**  
 CHECKED BY: **J.C. GOMEZ**  
 SHEET **A4.0**

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DATE: **09-28-20**

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**1 PROPOSED PATIO ELECTRICAL PLAN**  
1/4" = 1'-0"

CONTRACTOR AND/OR OWNER TO PERFORM A "WALK-THRU" WITH ELECTRICIAN PRIOR TO ANY INSTALLATION.

**ELECTRICAL NOTES**

1. PROVIDE SEPARATE CIRCUIT FOR BASEMENT FOR USE IN FUTURE CONSTRUCTION.
2. ALL SWITCHES TO BE MOUNTED AT 48" AFF. (MAX).
3. ALL OUTLETS, UNO, TO BE MOUNTED AT 18" AFF.
4. LAYOUT IS SCHEMATIC ONLY-ACTUAL ELECTRICAL DESIGN BY OTHERS AND SHALL COMPLY TO ALL LOCAL CODES.
5. PROVIDE SMOKE AND CO2 DETECTORS-TYP THROUGHOUT. DETECTORS TO BE HARD WIRED W/ BATTERY BACK-UP.
6. ALL HOT WATER PIPING TO BE THOROUGHLY INSULATED.
7. RECEPTACLE OUTLETS MUST BE INSTALLED IN HABITABLE ROOMS SO THAT NO POINT ALONG THE FLOOR LINE IN ANY HALL, SPACE 2' OR MORE IN LENGTH IS MORE THAN 6', MEASURED HORIZONTALLY FROM AN OUTLET.
8. IN KITCHEN AND DINING AREAS, ELECTRICAL RECEPTACLES MUST BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12" SO THAT AT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET. PROVIDE AT LEAST ONE OUTLET AT ISLAND WITH TOP GREATER THAN 12".
9. PROVIDE GROUND FAULT PROTECTION AT THE FOLLOWING LOCATIONS:  
BATHROOMS  
EXTERIOR CONDITIONS  
NON-DEDICATED GARAGE AND BASEMENT CONDITIONS  
KITCHEN COUNTERTOP  
WITHIN 6' OF WETBAR SINKS
- GFCI PROTECTION IS ALSO REQUIRED FOR ELECTRICAL EQUIPMENT IN WHIRLPOOL TYPE TUBS.
10. PROVIDE TWO OR MORE SMALL APPLIANCE BRANCH CIRCUITS FOR ALL RECEPTACLE OUTLETS IN KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM OR SIMILAR AREAS. THESE CIRCUITS MUST SERVE NO MORE THAN THREE OUTLETS AND HAVE NO OTHER OUTLETS CONNECTED.
11. NO MORE THAN 8 ELECTRICAL OUTLETS MAY BE CONNECTED TO A 15 AMPERE BRANCH CIRCUIT (10 PER 20 AMPERE CIRCUIT).
12. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH LOCAL 4 CURRENT ELECTRICAL CODES.
13. PROVIDE AN ELECTRICAL LIGHT IN ALL ATTIC AND CRAWL SPACES REQUIRING ACCESS FOR SERVICING OF EQUIPMENT. THE CONTROL SWITCH MUST BE LOCATED BY THE FRONT OF ACCESS AND A DUPLEX GFCI-PROTECTED ELECTRICAL SERVICE RECEPTACLE MUST BE PROVIDED AT OR NEAR THE EQUIPMENT.
14. THE GROUNDING ELECTRODE SYSTEM SHALL INCLUDE AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20' OF ONE OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTROLYTICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2" DIAMETER OR CONSISTING OF AT LEAST 20 FT OF BARE COPPER CONDUCTOR NOT SMALLER THAN NO. 2.
15. COORDINATE WITH POWER AUTHORITY TO LOCATE ELECTRICAL PANEL.

**ELECTRICAL LEGEND**

⊕ 110v OUTLET	⊕ 4-PLEX OUTLET	⊙ CEILING MOUNTED LIGHT FIXTURE
⊕ 220v OUTLET	⊕ GROUND FAULT INTERRUPTED	⊙ WALL MOUNTED LIGHT FIXTURE
⊕ WEATHER PROOF 110v	⊕ ABOVE COUNTER GFI OUTLET	⊙ HANGING CEILING LIGHT FIXTURE WITH BLOCKING TO SUPPORT 100 LB. MIN.
⊕ 1/2 HOT (SWITCHED) 110v OUTLET		⊙ CEILING FAN
⊕ FLOOR OUTLET 110v		⊙ RECESSED CEILING MOUNTED CAN LIGHT
⊕ CEILING MOUNTED OUTLET 110v		⊙ WALL SCONCE
⊕ SINGLE POLE SWITCH		⊙ FLUORESCENT TUBE LIGHT FIXTURE (SIZE PER PLAN)
⊕ 3-WAY SWITCH	⊕ OUTDOOR SPEAKERS	⊕ FANS PROVIDED BY OWNER
⊕ 4-WAY SWITCH	⊕ SECURITY LIGHTING	⊕ FAN / LIGHT COMBINATION
⊕ DIMMER SWITCH	⊕ SMOKE DETECTOR	⊕ PENDANT LIGHT
⊕ CABLE T.V. COAXIAL		
⊕ TELEPHONE / DATA		

ISSUE/REVISION	ISSUED FOR PERMIT
DATE	07/21/20



STUDIO G DESIGN, LLC  
970 584 8871  
DE MARLA ESPANOL

NEW PATIO COVER:  
LINTON RESIDENCE  
1501 PETERSON STREET  
FORT COLLINS, COLORADO

THIS PROJECT HAS BEEN REVIEWED FOR CONFORMANCE WITH THE ELECTRICAL CODES AND ALL APPLICABLE REGULATIONS. THE DESIGNER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN CONFORMANCE WITH THE ELECTRICAL CODES AND ALL APPLICABLE REGULATIONS. THE DESIGNER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN CONFORMANCE WITH THE ELECTRICAL CODES AND ALL APPLICABLE REGULATIONS. THE DESIGNER HAS REVIEWED THE PROJECT AND HAS FOUND IT TO BE IN CONFORMANCE WITH THE ELECTRICAL CODES AND ALL APPLICABLE REGULATIONS.

DATE	03-08-20
DESIGN BY	MR. GOMEZ
CHECKED BY	J.C. GOMEZ
SHEET	E-1

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July 31, 2020

Project No: 2925-13-20

Blue Pine Construction, Inc.  
P.O. Box 1639  
Wellington, CO 80549  
Attn: Mike Bockelman



**Re: Lot 20, Block 8, L.C. Moore's Second Addition; Fort Collins, Colorado  
1501 Peterson Street  
Patio Cover**

Dear Mr. Bockelman,

This letter supplements the plans for the patio cover project at the above referenced site prepared by Studio G Design, LLC. It is our understanding that the above referenced plans were submitted for permit and that the City of Fort Collins requires an engineer's evaluation letter regarding the patio cover project. The following is a summary of discussion items specific to this project.

**GENERAL INFORMATION AND UNDERSTANDINGS:**

- The patio cover is being attached to an existing garage structure. The existing garage was built in 2001/2002 under permit # B0106512 according to City of Fort Collins Building Department records. Foundation and structural plans for the existing garage were not available for our review.
- A portion of the patio cover plans prepared by others are attached for immediate reference and have been redlined by Shear Engineering Corporation to match existing conditions and our below recommendations.
- Based upon on-site measurements taken on Thursday, July 30, 2020, the length of the patio cover will match the length of the existing west garage wall which is approximately 22'-6" (plans show 24'-0"). The width of the patio cover will be 14'-0" to the post with a 24" overhang (plans show 16'-0" to the post with a 24" overhang). Our analysis and recommendations use the on-site measurements listed above.
- Current design building code for the City of Fort Collins is the 2018 International Residential Code (IRC) and 2018 International Building Code (IBC). Design loads and assumptions based on current code and local amendments are as follows:
  - Roof Snow Load: 30 pounds per square foot
  - Roof Dead Load: 15 pounds per square foot
  - Wind Speed (Vult): 140 miles per hour, 3-second gust, Exposure B
  - Minimum Frost Depth: 30 inches
  - Seismic: B (Design Category)

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July 31, 2020

Project No: 2925-13-20

**Re: Lot 20, Block 8, L.C. Moore's Second Addition; Fort Collins, Colorado  
1501 Peterson Street  
Patio Cover**

**PATIO COVER INFORMATION AND RECOMMENDATIONS:**

Based on our review of the plans provided by others, our on-site documentation, and analysis of the anticipated peak loading conditions, Shear Engineering Corporation provides the following recommendations regarding the proposed patio cover.

- The front (west) 22'-6" span beam shall be a triple (3) 1 3/4" x 14" LVL.
- The two (2) side (north and south) 14'-0" span beams shall be double (2) 1 3/4" x 14" LVL.
- Posts shall be min. 6x6 Doug. Fir with a Simpson ABU66Z post base.
- The front triple (3) 1 3/4" x 14" LVL shall fully bear on each 6x6 post with (2) Simpson LCE4 post caps (one east side of post / one west side of post).
- The side double (2) 1 3/4" x 14" LVL beams shall hanger to the triple (3) 14" LVL beam with Simpson HUCQ412-SDS concealed flange hangers. Do not install hanger fasteners where the hanger overlaps with the LCE4 post cap.
- The side double (2) 1 3/4" x 14" LVL beams shall pocket in the existing 2x4 garage frame wall with a minimum of three (3) 2x4 studs below. The beams shall be strapped to the stud columns with one (1) Simpson HTS20 twist strap per beam.
- Roof trusses are designed by Fort Collins Truss. A preliminary truss layout is attached for reference. Roof truss to beam connections shall be as specified by the truss designer.
- The two (2) new pier footings shall be minimum 24" diameter x 30" below grade and shall be reinforced with 4- #4 vertical rebar and three (3) #3 hoop ties spaced evenly.
- A portion of the existing garage foundation was exposed during our Thursday, July 30, 2020 site visit. Based on our observations, it is our assumption that the existing garage foundation consists of an 8" thick concrete wall over an 8"x12" continuous footing bearing 30" below grade. It is our opinion that the existing foundation is capable of supporting the patio cover.
- All other aspects of the patio cover construction shall be per the plans by others and per City of Fort Collins Building Code requirements.

If you have any questions concerning this letter, please call us at (970) 226-5334.

PAGE 3

July 31, 2020

Project No: 2925-13-20

**Re: Lot 20, Block 8, L.C. Moore's Second Addition; Fort Collins, Colorado  
1501 Peterson Street  
Patio Cover**

Sincerely,

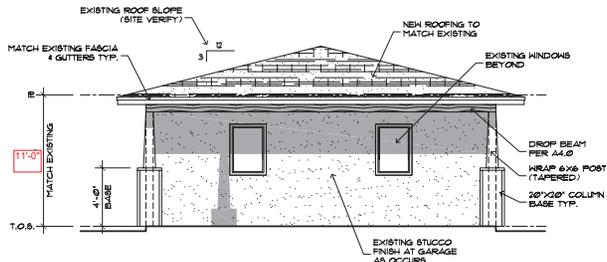


Brian A. Bruckbauer, P.E.  
Shear Engineering Corporation

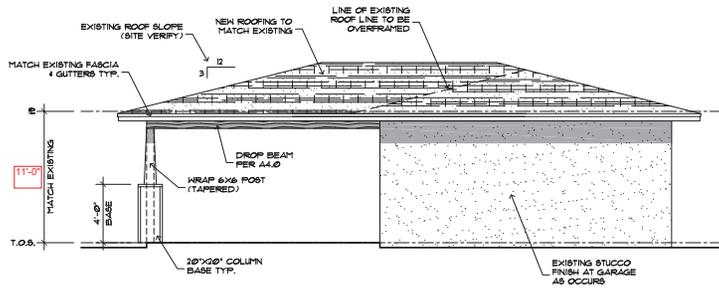
BAB / bws

attachments

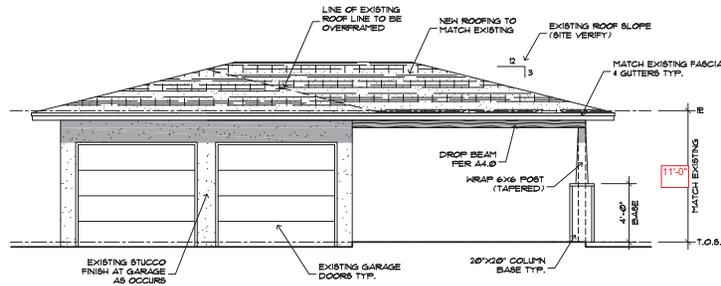
cc: City of Fort Collins Building Department



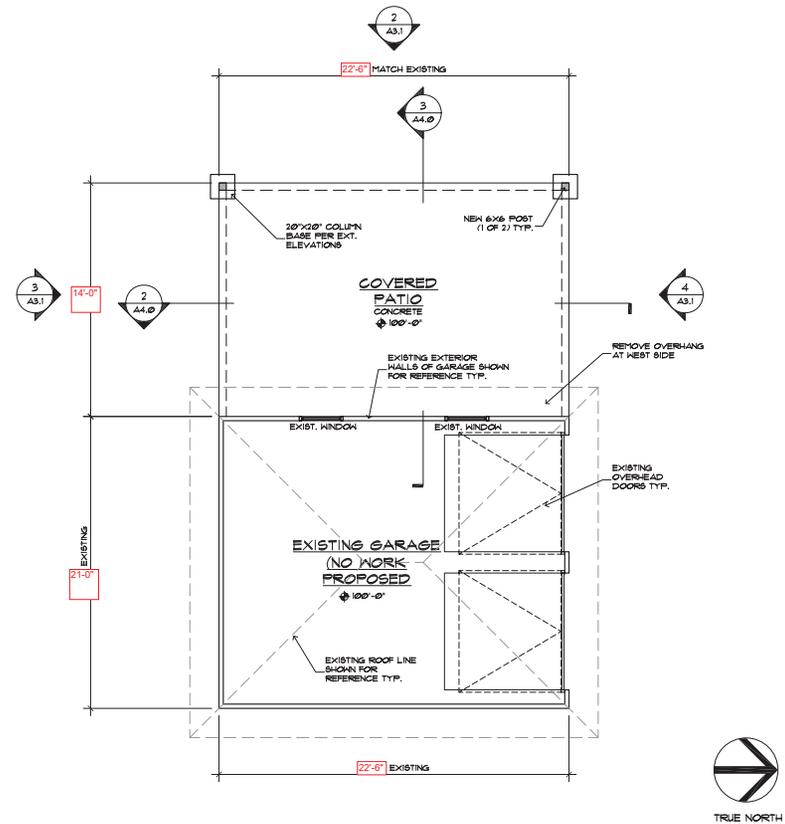
**2 WEST ELEVATION**  
1/4" = 1'-0"



**3 SOUTH ELEVATION**  
1/4" = 1'-0"



**4 NORTH ELEVATION**  
1/4" = 1'-0"



**1 PATIO FLOOR PLAN / POST LOCATIONS**  
1/4" = 1'-0"

ISSUE/REVISION	ISSUED FOR PERMIT
DATE	06-16-20



STUDIO & DESIGN, LLC

9700 15th Street, Suite 100  
Boulder, Colorado 80501

NEW PATIO COVER:  
LINTON RESIDENCE  
1501 PETERSON STREET  
FORT COLLINS, COLORADO

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DATE: 06-16-20

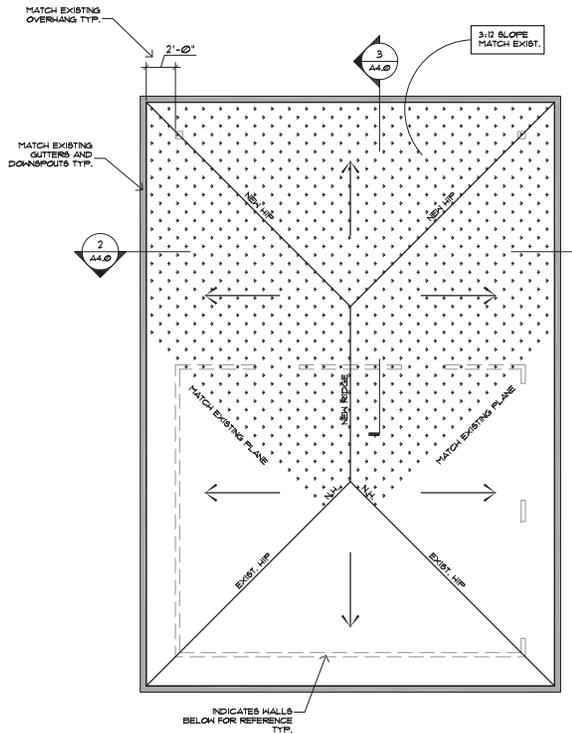
DESIGN BY: MR. GOMEZ

CHECKED BY: J.C. GOMEZ

SHEET

A3.1

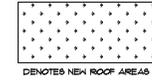
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**ROOF NOTES**

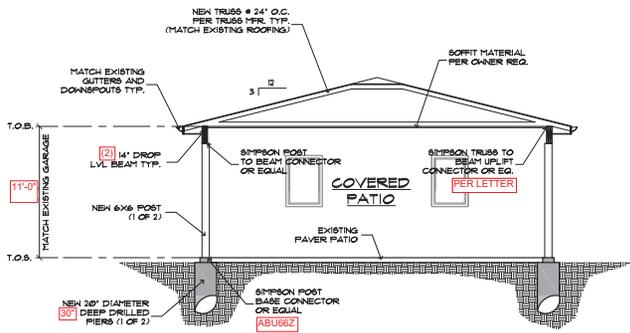
ROOF ASSEMBLIES SHALL COMPLY WITH CHAPTER 9, IRC.  
 UNDERLAYMENT TO BE (2) LAYERS OF 30# FELT.  
 ICE BARRIER: 2 LAYERS OF SELF ADHERED SHEETS SHALL BE INSTALLED AT ALL EAVES AND EXTEND FROM THE LOWEST EDGES OF ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING PER SEC. 905B.  
 ALL SHEET METAL ROOF PENETRATIONS TO BE PAINTED TO MATCH COLOR OF MOST ADJACENT ROOFING.  
 ALL VALLEYS TO HAVE CONTINUOUS SHEET METAL / SELF ADHERED FLASHING OR EQUAL. THEY MUST ALSO BE A CLOSED TYPE INSTALLATION.  
 DISCHARGE DOWNSPOUTS A MINIMUM OF 4 FEET AWAY FROM FOUNDATION.

**ROOF LEGEND**

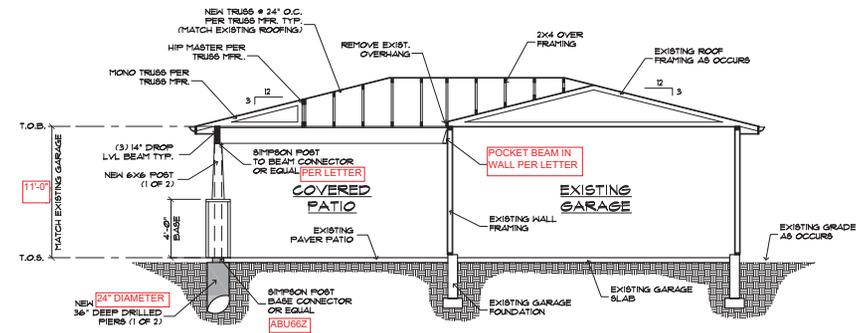


N.H. = NEW HIP  
 E.H. = EXISTING HIP

**1 ROOF DRAINAGE PLAN**  
 1/4" = 1'-0"



**2 BUILDING SECTION**  
 1/4" = 1'-0"



**3 BUILDING SECTION**  
 1/4" = 1'-0"

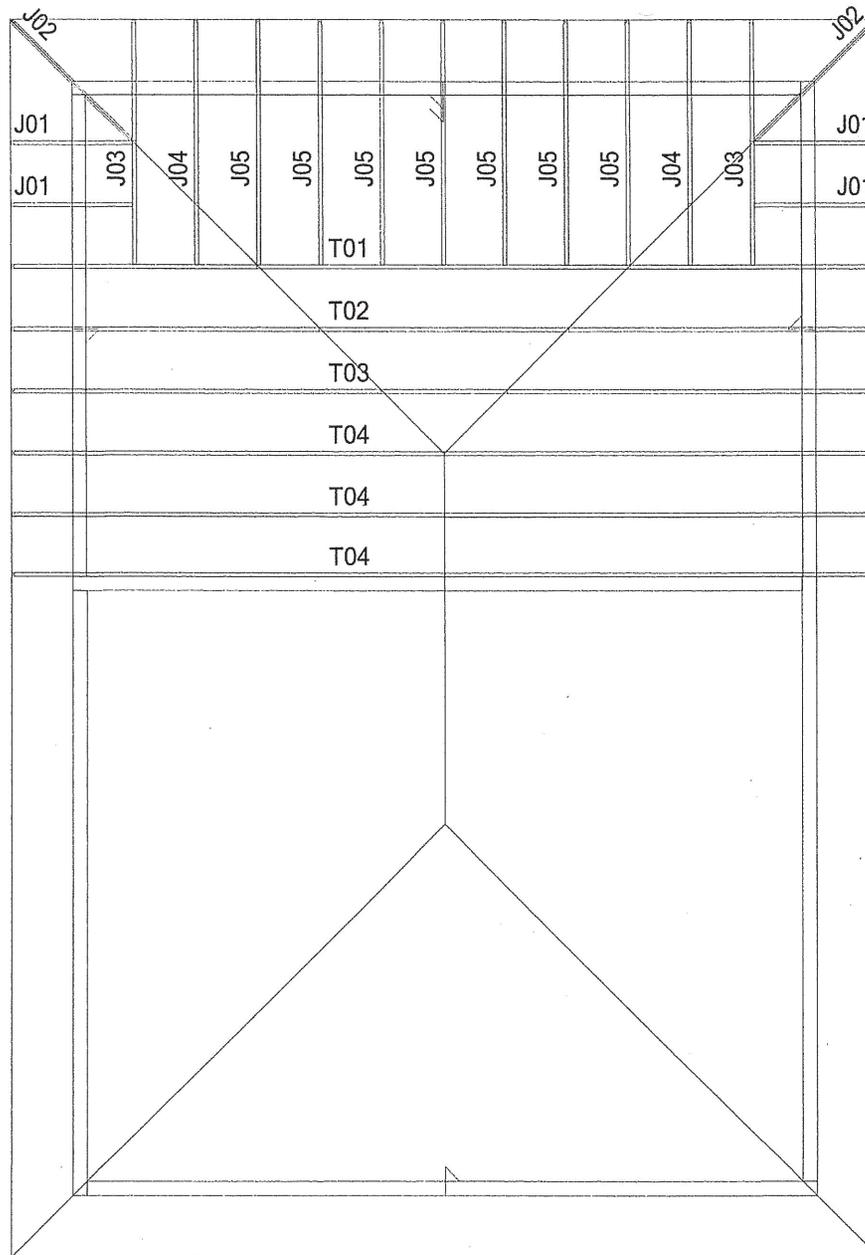
ISSUE/REVISION	ISSUED FOR PERMIT
DATE	06/16/20



**NEW PATIO COVER:**  
 LINTON RESIDENCE  
 1501 PETERSON STREET  
 FORT COLLINS, COLORADO

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DATE	06-16-20
DESIGN BY	MR. GOMEZ
CHECKED BY	J.C. GOMEZ
SHEET	A4.0



General Notes



Fort Collins Truss  
 PH: 970-484-7313 FX: 970-491-9842  
 TOLL FREE: 888-878-7748

# Linton Patio Cover

1501 Peterson St

Fort Collins

Designed By: Alex Erickson	
Roof Sqft: 1154	
No.	Revision/Issue Date

**FORT COLLINS TRUSS**  
 201 NW FRONTAGE ROAD  
 FORT COLLINS, CO 80524-  
 Ph: (970) 484-7313 Fax: (970) 491-9842

Roof Loading	Floor Loading
TC Live: 30 psf	TC Live: 40 psf
TC Dead: 10 psf	TC Dead: 10 psf
BC Live: 0 psf	BC Live: 0 psf
BC Dead: 10 psf	BC Dead: 10 psf
Total Load: 50 psf	Total Load: 60 psf
DOL: 115 %	DOL: 100 %

Project	Sheet
00721	
Date	
07/30/2020	
Scale	
1/6"=1' 0"	









