

ORDINANCE NO. 058, 2019  
OF THE COUNCIL OF THE CITY OF FORT COLLINS  
AMENDING THE LAND USE CODE TO IMPLEMENT THE ADOPTED  
DOWNTOWN AND OLD TOWN NEIGHBORHOODS PLANS

WHEREAS, on December 2, 1997, by its adoption of Ordinance No. 190, 1997, the City Council enacted the Fort Collins Land Use Code (the "Land Use Code"); and

WHEREAS, at the time of the adoption of the Land Use Code, it was the understanding of staff and the City Council that the Land Use Code would most likely be subject to future amendments, not only for the purpose of clarification and correction of errors, but also for the purpose of ensuring that the Land Use Code remains a dynamic document capable of responding to issues identified by staff, other land use professionals and citizens of the City; and

WHEREAS, in 2017, City Council adopted the Downtown Plan, Resolution 2017-033, and the Old Town Neighborhoods Plan, Resolution 2017-022; and

WHEREAS, the proposed Land Use Code changes to the Downtown and Neighborhood Conservation Buffer Districts, and the proposed repeal of the River Downtown Redevelopment District, set forth below are being made to implement policies contained in the Downtown and Old Town Neighborhoods Plans; and

WHEREAS, the Planning and Zoning Board at its November 15, 2018, regular meeting unanimously recommended that City Council approve the proposed Land Use Code changes set forth below; and

WHEREAS, the City Council has determined that the recommended Land Use Code amendments are in the best interests of the City and its citizens.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FORT COLLINS as follows:

Section 1. That the City Council hereby makes and adopts the determinations and findings contained in the recitals set forth above.

Section 2. That Section 4.9(B)(2)(a) of the Land Use Code is hereby amended to read as follows:

(a) **Residential Uses:**

...

Section 3. That Section 4.9(D) of the Land Use Code is hereby amended to read as follows:

(D) ***Land Use Standards.***

- (1) *Allowable Floor Area.* allowable floor area, "total floor area" shall mean the total gross floor area of all principal buildings as measured along the outside walls of such buildings, including each finished or unfinished floor level, plus the total gross floor area of the ground floor of any accessory building larger than one hundred twenty (120) square feet, plus that portion of the floor area of any second story having a ceiling height of at least seven and one-half (7½) feet located within any such accessory building located on the lot. (Open balconies and basements shall not be counted as floor area for purposes of calculating density).

...

- (3) *Accessory Buildings With Habitable Space (or Potential Future Habitable Space).* Any accessory building with water and/or sewer service shall be considered to have habitable space. An applicant may also declare an intent for an accessory building to contain habitable space. Any person applying for a building permit for such a building shall sign and record with the Larimer County Clerk and Recorder an affidavit stating that such accessory structure shall not be used as a dwelling unit. All building permits issued for such buildings shall be conditioned upon this prohibition. Any such structure containing habitable space that is located behind a street-fronting principal building shall contain a maximum six hundred (600) square feet of floor area. Floor area shall include all floor space within the basement and ground floor plus that portion of the floor area of any second story having a ceiling height of at least seven and one-half (7½) feet. Such accessory building may be located in any area of the rear portion of a lot, provided that it complies with the setback requirements of this District and there is at least a ten-foot separation between structures. All accessory buildings with habitable space shall comply with the requirements contained in Chapter 26 of the Fort Collins Municipal Code or the requirements of the applicable non-City provider of water or sewer service.

...

Section 4. That Section 4.9(E) of the Land Use Code is hereby amended to read as follows:

(E) *Development Standards.*

(1) *Single-Family Dwellings.*

(a) *Building Design.*

1. All exterior walls of a building that are greater than six (6) feet in length shall be constructed parallel to or at right angles to the side lot lines of the lot whenever the lot is rectilinear in shape.

2. The primary entrance to a dwelling shall be located along the front wall of the building, unless otherwise required for handicap access. Such entrance shall include an architectural feature such as a porch, landing or portico.
3. Accessory buildings and attached garages shall have a front yard setback that is at least ten (10) feet greater than the front setback of the principal building that is located on the front portion of the lot.
4. A second floor shall not overhang the lower front or side exterior walls of a new or existing building.
5. Front porches shall be limited to one (1) story, and the front facades of all single- and two-family dwellings shall be no higher than two (2) stories, except for carriage houses and accessory buildings containing habitable space, which shall be limited to one and one-half (1½) stories.
6. In the event that a new dwelling is proposed to be constructed on the rear portion of a lot which has frontage on two (2) streets and an alley, the front of such new dwelling shall face the street.
7. The minimum pitch of the roof of any building shall be 2:12 and the maximum pitch of the roof of any building shall be 12:12, except that new, detached accessory buildings and additions to existing dwelling units may be constructed with a pitch that matches any roof pitch of the existing dwelling unit. Additionally, the roof pitch of a dormer, turret or similar architectural feature may not exceed 24:12 and the roof pitch of a covered porch may be flat whenever the roof of such a porch is also considered to be the floor of a second-story deck.

(b) *Bulk and Massing.*

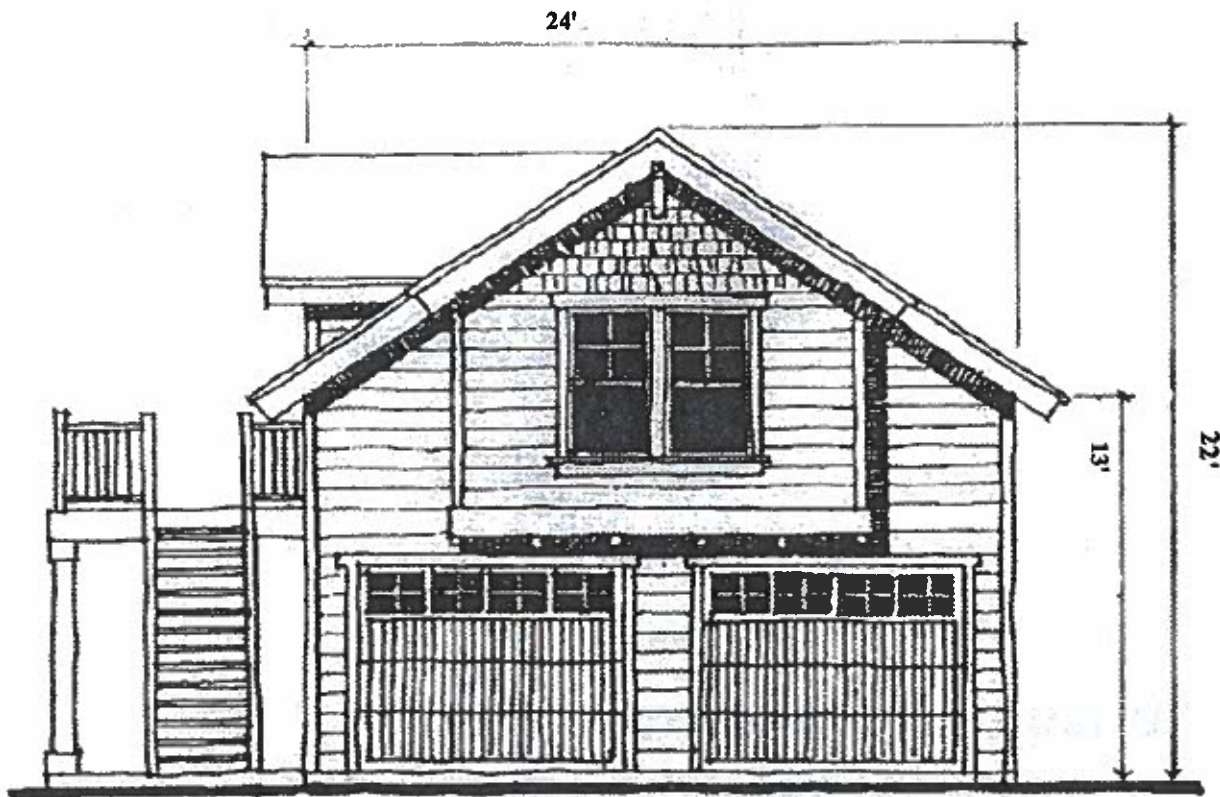
1. **Building Height.**

- a. Maximum building height shall be three (3) stories, except for carriage houses and accessory buildings containing habitable space, which shall be limited to one and one-half (1½) stories.
- b. The height of a detached dwelling unit at the rear of the lot or an accessory building containing habitable space shall not exceed twenty-four (24) feet.
- c. The height of an accessory building containing no habitable space shall not exceed twenty (20) feet.

## 2. Eave Height.

- a. The exterior eave height of an eave along a side lot line shall not exceed thirteen (13) feet from grade for a dwelling unit located at the rear of the lot or an accessory building with habitable space.
- b. The exterior eave height of an eave along a side lot line shall not exceed ten (10) feet from grade for an accessory building containing no habitable space.
- c. If a second story has an exterior wall that is set back from the lower story's exterior wall, the eave height shall be the point of an imaginary line at which the upper story's roofline (if extended horizontally) would intersect with the lower story's exterior wall (if extended vertically). (See Figure 17.8 below).

**Figure 17.8**  
**Building Roofline and Eave Heights**



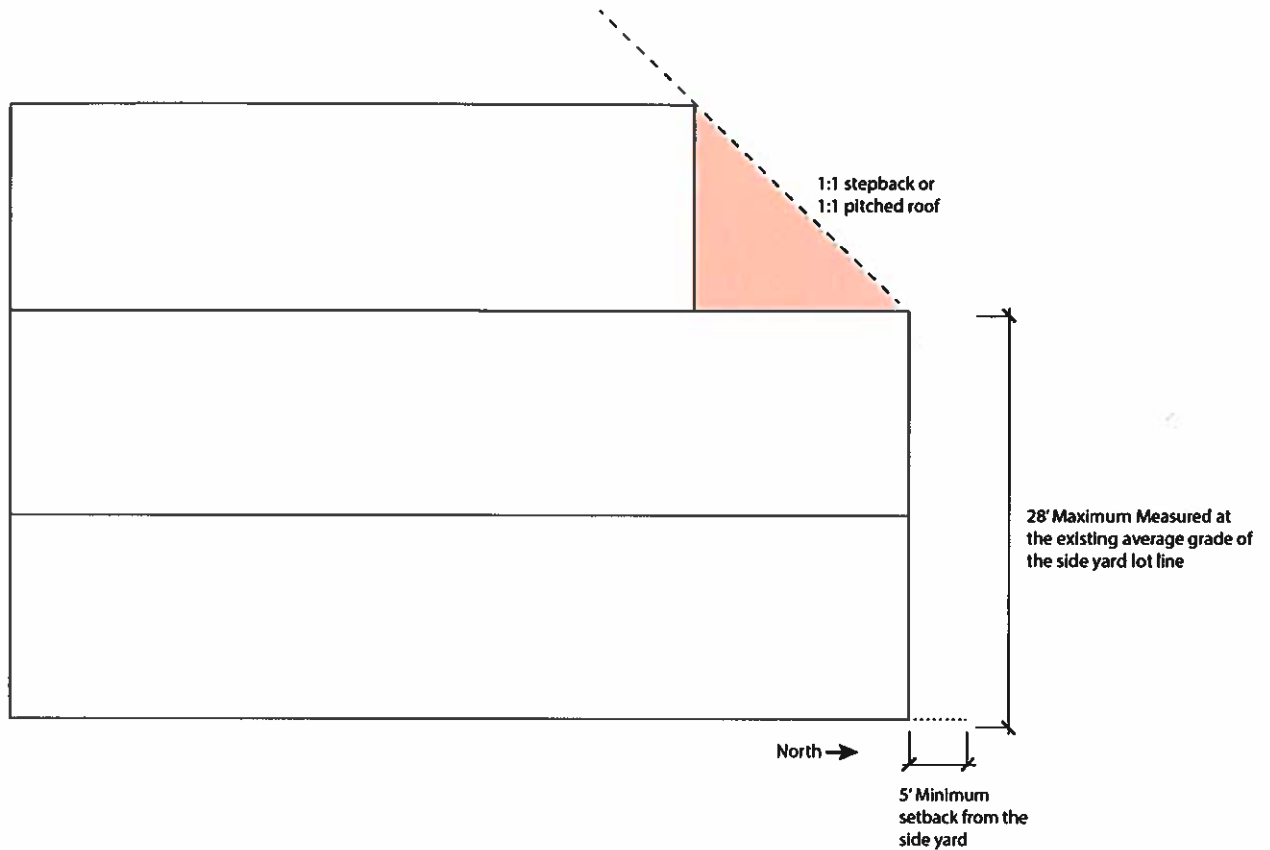
### (2) *Multi-Family Dwellings, Mixed-Use and Non-Residential Buildings.*

Multi-family and mixed-use dwellings and non-residential buildings shall comply with the standards set forth in Figure 17.9.

**Figure 17.9  
Multi-Family, Mixed-Use and Non-Residential Design Standards**

DESIGN COMPONENTS	DESIGN STANDARDS
Maximum Building Height	3 Stories
Front Yard Setback	15' OR the average of the abutting parcels on the same block face
Rear Yard Setback	8' from alley 15' from other conditions
Side Yard Setback	5' minimum interior lots 15' corner lots
Building Shading Stepback See Figure 17.10	North facade of 3 story buildings shall have a 1:1 stepback at the third floor (28') or a 1:1 roof pitch, to reduce shading on north abutting lots
Main Entrance	Primary entry(ies) shall be located on the street-facing facade and must include an architectural feature such as a porch, landing, portico, etc.
Building Design	Must demonstrate blockface compatibility by incorporating at least 3 of the following features: roof articulation, fenestration patterns, cladding materials, porch/ balconies, contextual datum lines, courtyard.
Vehicular Access	Any new access must obtain access from an alley when present unless alley deemed a hazard by City Engineer. Alley access is not required when parking can be accessed from an existing driveway and curbcut along a public street and shall be set back at least 15' from the building setback.
Parking	Permanent off-street parking shall not be located any closer to a public street right-of-way than the principal building is set back from the street.

**Figure 17.10  
Building Shading Stepback Standard**



(3) *Carriage Houses and Habitable Accessory Buildings.*

(a) *Carriage Houses.*

1. Subject to the requirements set forth in in Chapter 26 of the Fort Collins Municipal Code or the requirements of the applicable non-City provider of water or sewer service, water and sewer lines may be extended from the principal building on the lot to the carriage house.

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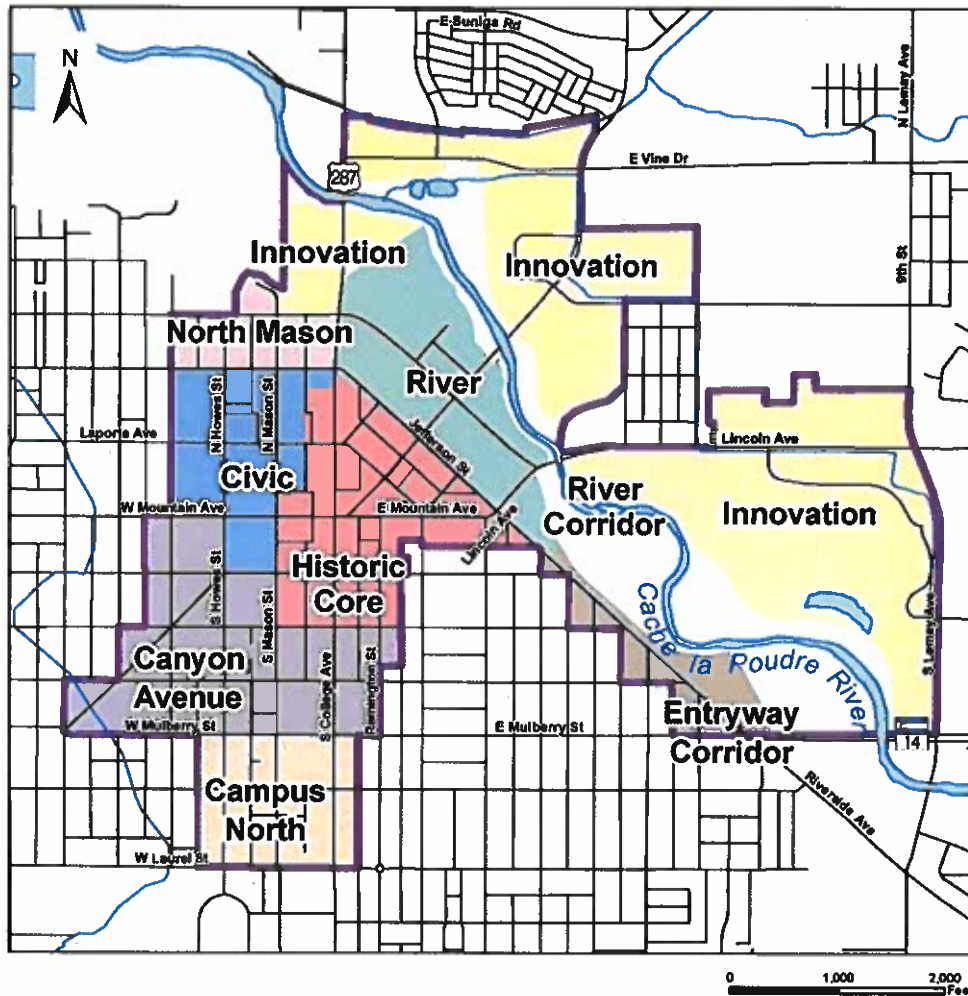
Section 5. That Section 4.16 of the Land Use Code is hereby repealed and reenacted to read as follows:

**Division 4.16 - Downtown District (D)**

(A) **Purpose.** The Downtown District is intended to provide a concentration of retail, civic, employment and cultural uses in addition to complementary uses such as hotels, entertainment and housing, located along the backdrop of the Poudre River Corridor. It is

divided into nine (9) subdistricts as depicted on Figure 18. The development standards for the Downtown District are intended to encourage a mix of activity in the area while providing for high quality development that maintains a sense of history, human scale and pedestrian-oriented character.

**Figure 18**  
**Downtown District Subdistricts**



(B) **Street Frontage Types** Three types of street frontages have evolved in the Downtown District shaping public space and building placement. Applicable street frontage types are depicted on Figure 18.1.

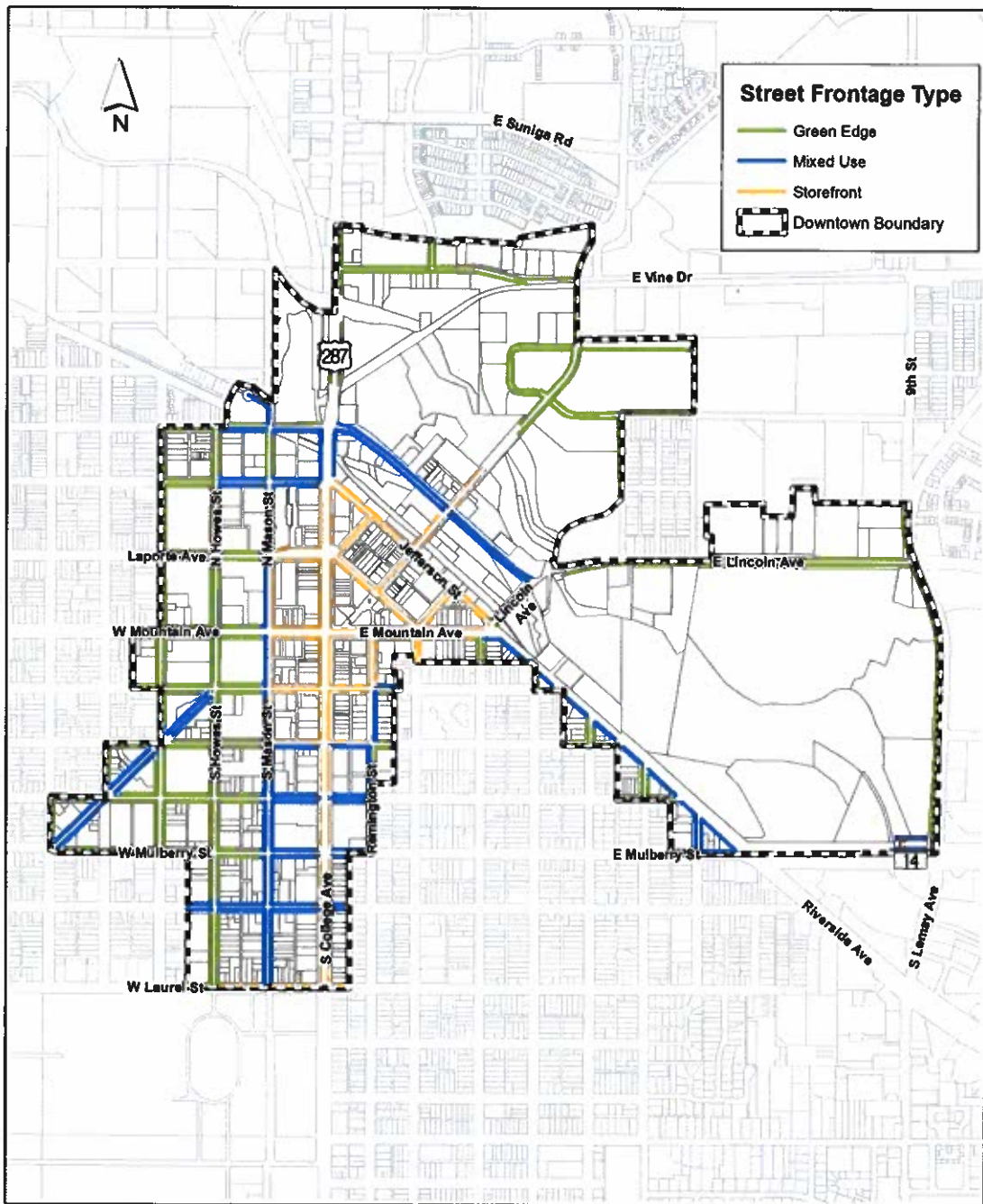
- **Storefront** – Found primarily within the Historic Core, and along Laurel Street, buildings abut a wide sidewalk. Retail and commercial uses predominate the ground floor with a high degree of visual interest and transparency into shops and restaurants.
- **Mixed Use** – Found adjacent the Historic Core Subdistrict on streets such as Mason, this street character is a hybrid and transition between the Storefront and Green Edge frontage types. Buildings are set a little farther back from the street

than along Storefront streets, often with small landscape beds separating the building from the sidewalk. There is significantly less ground floor retail space, but buildings still address the sidewalk in a similar way.

- *Green Edge* – Found primarily in the subdistricts away from the Historic Core, this frontage type is best recognized for generous parkway widths and landscaped setbacks between the sidewalk and the building. Ground floor uses comprise mostly residential and office, with a scattering of other commercial uses, often in much larger buildings than are found in the Historic Core Subdistrict.

**Figure 18.1**  
**Downtown District Street Frontage Types**



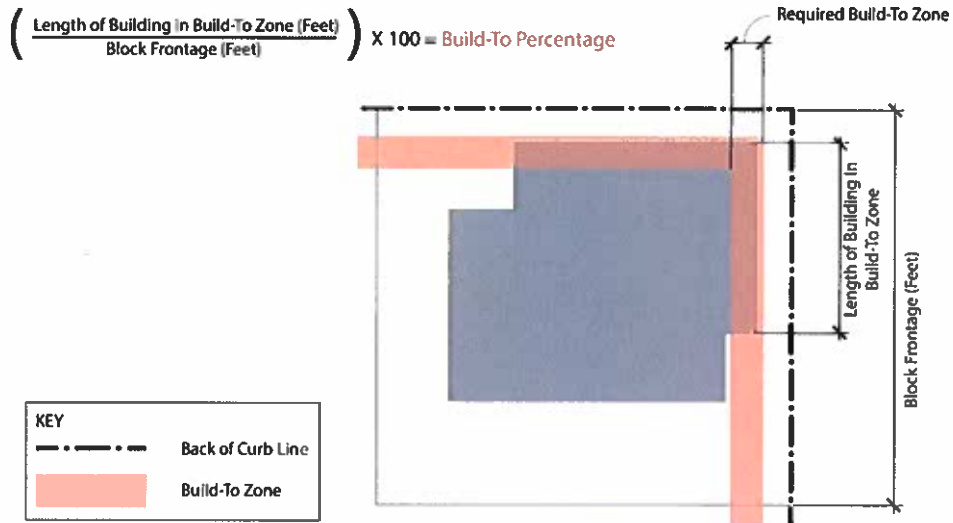


- (1) ***Street Frontage and Building Placement Requirements.*** The following standards shall apply to the Downtown District:

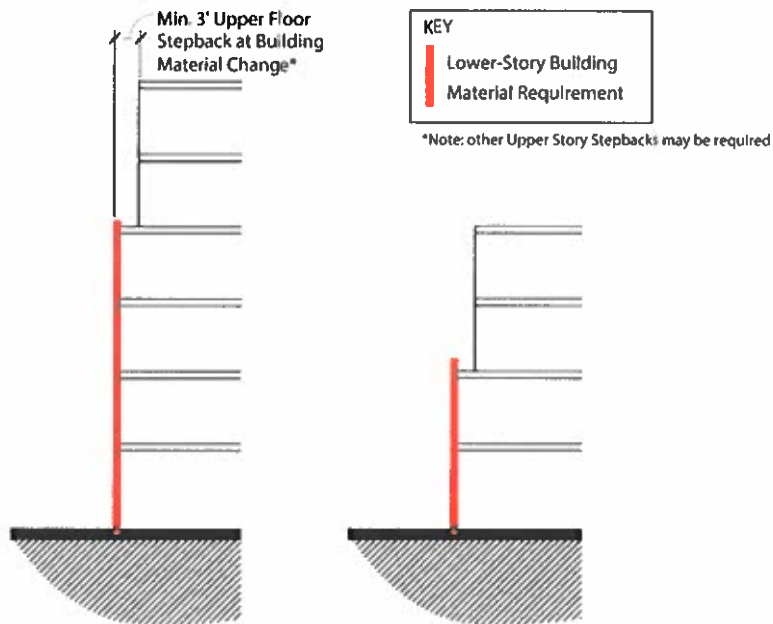
**Figure 18.2**  
**Building Design based on Street Frontage**

	STREET FRONTAGE TYPE		
	Storefront	Mixed Use	Green Edge
<b>Minimum Setback From Back Of Curb</b> <i>(right of way included in setback)</i>	Min. 9' from back of curb to building	Min. 19' from back of curb to building Min. 8' parkway Min. 6' sidewalk if detached Min. 10' sidewalk if attached Min. 5' back of walk to building	Min. 24' from back of curb to building Min. 9' parkway Min. 5' detached sidewalk Min. 10' back of walk to building
<b>Min. Alley, Sidelot and Rear Lot Setbacks</b> <i>(measured from property line)</i>	0' Sidelot 5' Alley 0' Rear Yard	0' Sidelot 5' Alley 5' Rear Yard	10' Sidelot 5' Alley 5' Rear Yard
<b>Required Street Frontage Build-To Range</b> <i>(as measured from the setback)</i> <i>See Figure 18.3</i>	90% at 0 to 5'	75% at 5 to 10'	50% at 10 to 20'
<b>Primary Entrance Location</b>	For parcels with multiple street frontage types, the primary entrance must face a Storefront Street if present, otherwise a Mixed-Use Street. The primary entrance may face a Green Edge Street only when other street frontage types are not present.		
<b>Primary Entrance Articulation</b>	The primary entrance on a storefront street shall be recessed from the front facade so that the door swing does not encroach the sidewalk while the upper floors will maintain the sidewalk edge except as required to meet upper story stepbacks.	The primary building entrance shall be a clearly defined, demarcated architectural feature of the building easily distinguishable from secondary building entrances.	
<b>Garage Entry Location</b>	Garage entries and service locations shall be located in alleys. If no alley is present, they may be located on a Green Edge street. If a Green Edge street is not present, they may be located on a Mixed-Use street. To the maximum extent feasible, garage entries and service locations are not located on Storefront street frontages.		
<b>Building Base Materials</b> <i>See Figure 18.4</i>	Lower story facades until any stepbacks (required or otherwise) must be constructed of authentic, durable, high-quality materials (brick, stone, glass, terra cotta, stucco (non EFIS), precast concrete, wood, cast iron, architectural metal - or similar modular materials) installed to industry standards.		
<b>Ground-Floor Transparency</b> <i>See Figure 18.5</i>	60%	40%	25%
<b>Ground Floor Use Requirements</b>	Maximum 25% street-facing linear frontage for residential living space	None.	

**Figure 18.3**  
**Street Frontage Build-To Range**



**Figure 18.4**  
**Building Base Materials**



**Figure 18.5**  
**Ground Floor Transparency Calculation**

$$\left( \frac{\text{Total Transparent Window Area Provided in Zone of Transparency (SF)}}{\text{Total Street-Facing Frontage (Feet)} \times \text{Zone of Transparency (Feet)}} \right) \times 100 = \text{Ground Floor Transparency Percentage}$$



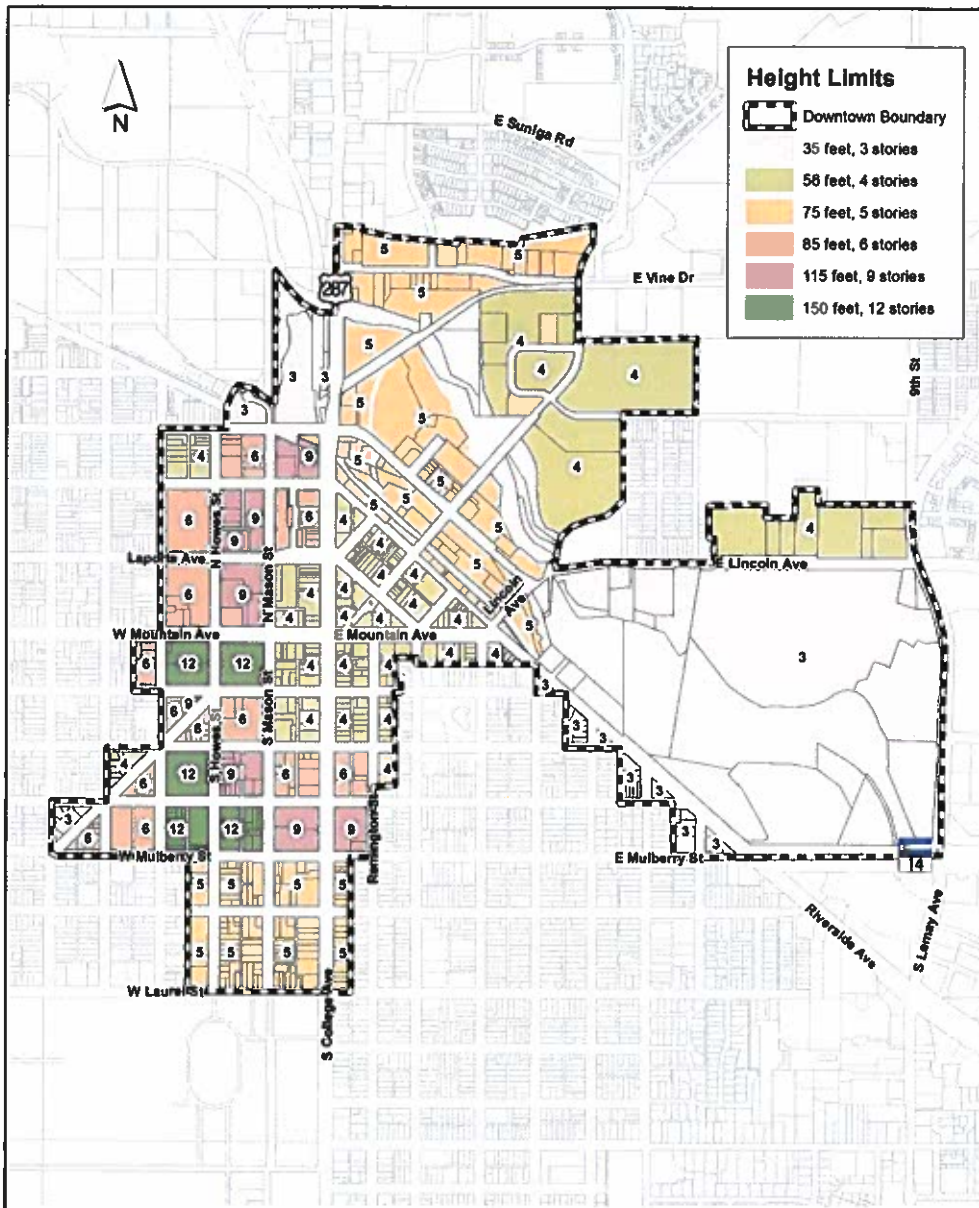
(C) **Building Heights and Mass Reduction.** The following standards shall apply to the Downtown District:

**Figure 18.6**  
**Building Mass Reduction and Articulation**

	MAXIMUM HEIGHT ALLOWANCE				
	3 Stories	4 Stories	5 Stories	6 Stories	12 Stories
Maximum Building Footprint	None.				For contiguous commonly-zoned lots over 60,000 SF, interior floor plates above the 6th story shall not exceed 40,000 SF.
Upper-Story Stepbacks	None.	Any portion of the building within the build-to-range must have a stepback that averages at least 10' along all street frontages. Stepbacks may be continuous or may vary with up to 20' counting towards the calculation of the average. Stepbacks may occur at the 2nd-5th story. Exception: If directly across the street from a height allowance of 3 stories, the stepback must occur at the 2nd or 3rd story.			
Maximum Wall Length	For buildings over 100' long, the maximum wall length for the base of the building (defined as the portion of the building below any required upper-story stepbacks) without a <i>Major Facade Plane Change</i> shall be 50 feet. A <i>Major Facade Plane Change</i> must be a minimum of 2 feet deep and shall be related to entrances, the integral structure, and/or the organization of interior spaces and activities.				
Building Articulation	Street-facing facades shall incorporate a minimum of 3 of the following articulation techniques to avoid long, undifferentiated facades: <ol style="list-style-type: none"> <li>1. Minor Facade Plane Changes- minimum 3 inches;</li> <li>2. Vertical Projections;</li> <li>3. Horizontal Projections (awnings, canopies, cornice articulation) that are integrated into the architecture;</li> <li>4. Balconies or terraces;</li> <li>5. Fenestration details, including window depth and sills or lintels.</li> </ol>				

(1) **Building Height Limits.** The maximum height of buildings within the Downtown District shall be as shown on the Building Heights Map See Figure 18.7.

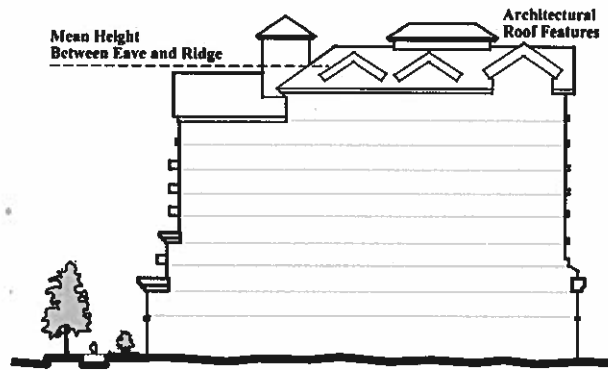
Figure 18.7  
Building Heights Map



- (2) *Measurement of Height Limits.* The maximum height limits are intended to convey a scale of building rather than an exact point or line. In the case of sloped roofs, building height shall be measured to the mean height between the eave and ridge. The maximum height limits are not intended to hinder architectural roof features such as sloped roofs with dormers, penthouses, chimneys, towers, shaped cornices or parapets, or other design features that exceed the numerical

limits but do not substantially increase bulk and mass. Lofts or penthouses projecting above the limits shall not exceed one-third (1/3) of the floor area of the floor below and shall be set back from any roof edge along a street, by a distance equal to or greater than the height of the loft or penthouse structure. See Figure 18.8.

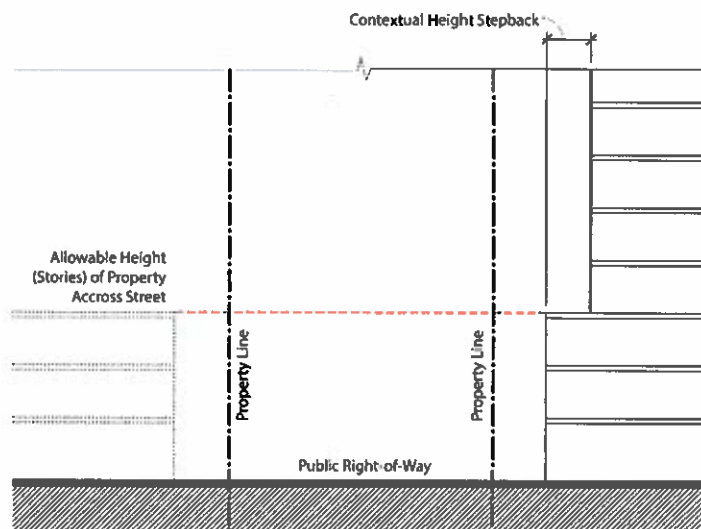
**Figure 18.8**  
**Measurement of Height Limits**



- (3) *Upper Story Stepbacks.*
  - (a) **Historic Core, Innovation and North Mason Stepbacks:** The fourth story of a building shall be stepped back an average of at least ten feet along all street frontages. Stepbacks may be continuous or may vary with a twenty (20) foot stepback counting towards the calculation of the required ten (10) foot average.
  - (b) **Canyon Avenue, Civic and Campus North Stepbacks:** The fifth story of a building shall be stepped back an average of at least ten feet along all street frontages. Stepbacks may be continuous or may vary with up to a twenty (20) foot stepback counting towards the calculation of the required ten (10) foot average. Stepbacks may occur at the second to fifth stories.
- (4) *Contextual Height Stepback.* To provide an appropriate scale transition between opposing block faces with dissimilar height allowances, buildings shall provide a contextual height stepback. Upper floors shall be stepped back a minimum of three (3) feet at the equivalent height limit on the opposing block face. See Figure 18.9.



**Figure 18.9**  
**Contextual Height Stepbacks**



- (5) *Planning and Zoning Board Review of Large Buildings.* Development plans with new buildings (or building additions) greater than twenty-five thousand (25,000) square feet in floor area per story, or that exceed either six (6) stories or eight-five (85) feet in height, shall be subject to Planning and Zoning Board review.
- (D) *Site Design.* The following standards shall apply to the Downtown District:
- (1) *Parking lots, garage entries and service locations.* Parking lots, garage entries and service locations shall be located on alleys. If no alley is present, they may be located on a Green Edge street. If a Green Edge street is not present, they may be located on a Mixed-Use street. To the maximum extent feasible, parking lots and garage entries shall not be located on Storefront streets. Auto entrances shall be located to minimize pedestrian/auto conflicts.
  - (2) *Parking structures.* To the extent reasonably feasible, all parking structures shall meet the following design criteria:
    - (a) Where parking structures abut streets, retail and other uses shall be required along the ground level frontage to minimize interruptions in pedestrian interest and activity. The decision maker may grant an exception to this standard for all or part of the ground level frontage on streets with low pedestrian interest or activity.
    - (b) Parking and awnings, signage and other architectural elements shall be incorporated to encourage pedestrian activity at the street-facing level.
    - (c) Architectural elements, such as openings, sill details, emphasis on vertical proportions such as posts, recessed horizontal panels and other

architectural features shall be used to establish human scale at the street-facing level

- (3) *Outdoor activity.* To the extent reasonably feasible, outdoor spaces shall be placed next to activity that generates the users (such as street corners, offices, day care, shops and dwellings). Outdoor spaces shall be linked to and made visible from streets and sidewalks to the extent reasonably feasible. Buildings shall promote and accommodate outdoor activity with balconies, arcades, terraces, decks and courtyards for residents' and workers' use and interaction, to the extent reasonably feasible

(E) ***Special Subdistrict Provisions.***

- (1) *Canyon Avenue and Civic Center Subdistricts: Plazas.* For buildings located within the Canyon Avenue and Civic Center Subdistricts that are four (4) stories or taller, ground floor open space shall be provided that is organized and arranged to promote both active and passive activities for the public. Such space must be highly visible and easily accessible to the public and must include features that express and promote a comfortable human sense of proportionality between the individual and the environment, whether natural or man-made.

(2) *Civic Subdistrict*

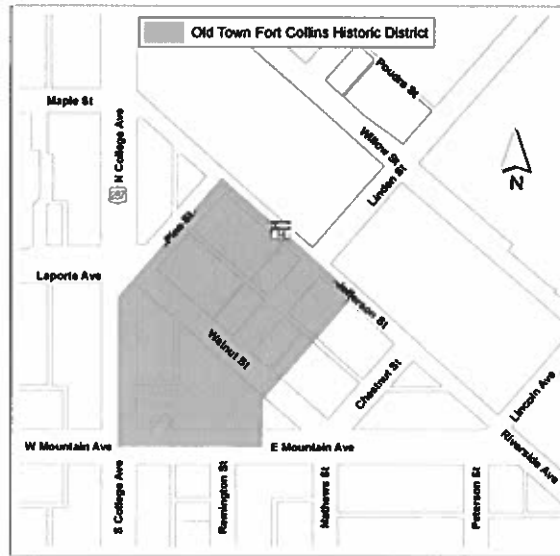
- (a) *Purpose.* The Civic Subdistrict will serve as an important element of the Downtown District and as the primary location for new civic uses and buildings.
- (b) *Development Standards.* The following standards shall apply to all development in the Civic Subdistrict:
  1. *Civic Spine.* All development shall incorporate the concept of the "Civic Spine" as described in the *Downtown Civic Center Master Plan*, allowing for continuous north-south and east-west pedestrian connections. The Civic Spine will serve to connect various buildings to unify parks and plazas.
  2. *Building materials.* The use of local sandstone is required in all civic buildings to establish a visual continuity and a local sense of place.
  3. *Civic buildings.* New major civic buildings, such as a library, government offices, courthouses, performing arts facilities and transit centers, shall be located within the Civic Subdistrict and placed in central locations as highly visible focal points. To the extent reasonably feasible, they shall be close to a transit stop.
  4. *Incorporation of new buildings.* New buildings shall be designed in a manner that establishes continuity and a visual connection



between new and existing buildings within and adjacent to the Civic Subdistrict. The height, mass and materials of major public buildings shall convey a sense of permanence and importance.

- (3) ***Old Town Fort Collins Historic District.*** Buildings located within the locally designated Old Town Fort Collins Historic District shall also comply with the *Old Town Historic District Design Standards* adopted by Ordinance 094, 2014, Chapter 14 of the City Code, and the *U.S. Secretary of the Interior Standards for the Treatment of Historic Properties*. See Old Town Fort Collins Historic District, Figure 19.

**Figure 19**  
**Old Town Fort Collins Historic District**



(4) ***Innovation Subdistrict***

- (a) ***Purpose.*** The Innovation Subdistrict is intended to recognize continuing redevelopment in this former industrial area, promoting employment and innovation. Redevelopment projects will continue to build up a fitting identity and character related to the Downtown District edge setting with contemporary semi-industrial building styles and materials. Streetscapes and sites will reinforce the area's identity and character with design features that reflect an industrial character and the river landscape corridor.

- (b) ***Development Standards.*** The following standards shall apply to all development in the Innovation Subdistrict:

1. ***Site Design***

- a. ***Landscaping/Vegetation Protection.*** Naturalistic characteristics of the river landscape shall be maintained and enhanced using plants and landscape materials native to the

river corridor in the design of site and landscape improvements.

- b. *Outdoor Spaces.* Development shall incorporate outdoor spaces such as patios, courtyards, terraces and plazas to add interest and facilitate interaction.
- c. *Color/Materials.* Heavy, durable, locally fabricated components, with materials such as metal and stone, will be used creatively to complement building design.

2. *Buildings.*

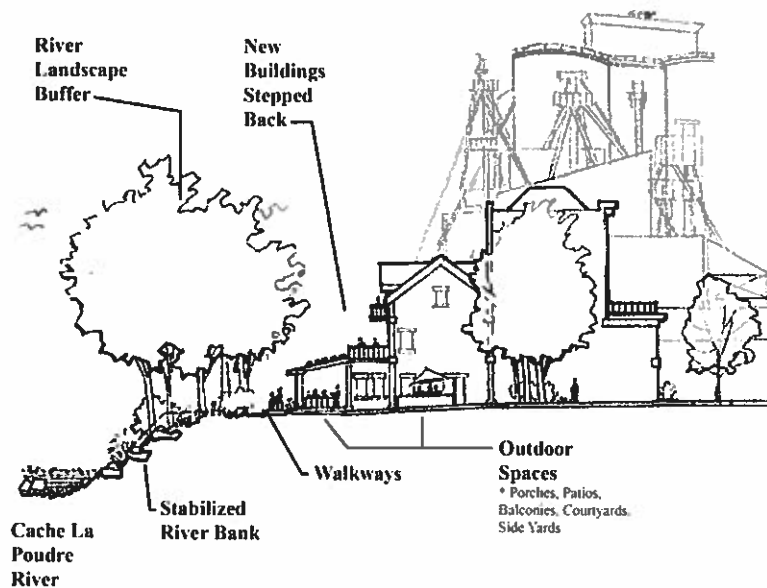
- a. *Height/Mass.* Multi-story buildings shall be designed to step down to one (1) story directly abutting any natural habitat or feature protection buffer, and 2) must step down to three (3) stories at least 150 feet from any parcel zoned Low Density Residential (R-L) or Medium Density Mixed Use Neighborhood (M-M-N).
- b. *Parking lots.* Buildings shall be sited so that any new parking lots and vehicle use areas are located in either: 1) interior block locations between buildings that face the street and buildings that face the river, or 2) side yards.

(5) *River Subdistrict*

- (a) *Purpose.* The River Subdistrict is intended to reestablish the linkage between the Historic Core and the Cache la Poudre River (the "River") through redevelopment in the corridor. This Subdistrict offers opportunities for more intensive redevelopment of housing, businesses and workplaces to complement the Historic Core Subdistrict. Improvements should highlight the historic origin of Fort Collins and the unique relationship of the waterway and railways to the urban environment as well as expand cultural opportunities in the Downtown area. Redevelopment will extend the positive characteristics of Downtown such as the pattern of blocks, pedestrian-oriented street fronts and lively outdoor spaces.
- (b) *Development Standards.*
  - 1. *Transition between the River and Development.*
    - a. *River Landscape Buffer.* In substitution for the provisions contained in subsection 3.4.1 (E) (Establishment of Buffer Zones) requiring the establishment of "natural area buffer

zones," the applicant shall establish, preserve or improve a continuous landscape buffer along the river as an integral part of a transition between development and the river. To the maximum extent feasible, the landscape buffer shall consist predominantly of native tree and shrub cover. (See Figure 19.1.) The landscape buffer shall be designed to prevent bank erosion and to stabilize the river bank in a manner adequate to withstand the hydraulic force of a 100-year flood event. The bank stabilization shall comply with the following criteria:

**Figure 19.1  
Landscape Buffer**



- i. Any bank stabilization improvements shall consist of native plants and stone, to the extent reasonably feasible. If any structural materials such as concrete are required, such materials shall be designed to emphasize characteristics of the native landscape such as color, texture, patterns and proportions, to minimize contrast with the river landscape.
- ii. The predominant visual elements in any bank stabilization improvements shall be native vegetation and stone, notwithstanding the use of any integrated structural elements. Blank walls shall not be used to retain the slope of the river bank.

- b. *Outdoor spaces.* On sites that have river frontage between Linden Street and Lincoln Avenue, buildings or clusters of buildings shall be located and designed to form outdoor spaces (such as balconies, arcades, terraces, decks or courtyards) on the river side of the buildings and/or between buildings, as integral parts of a transition between development and the River. A continuous connecting walkway (or walkway system) linking such spaces shall be developed, including coordinated linkages between separate development projects.

2. *Streets and Walkways.*

- a. *Streets.* Redevelopment shall maintain the existing block grid system of streets and alleys. To the extent reasonably feasible, the system shall be augmented with additional connections, such as new streets, alleys, walkway spines, mid-block passages, courtyards and plazas, to promote a fine-grained pedestrian circulation network that supplements public sidewalks.
- b. *Driveways.* To the extent reasonably feasible, driveways and curb cuts must be minimized to avoid disruption to the sidewalk network, by using shared driveways between properties. The width of driveways and turning radii must be minimized except where truck access is required.
- c. *Jefferson Streetscape.* Redevelopment activity along the Jefferson Street frontage shall provide formal streetscape improvements including street trees in sidewalk cutouts with tree grates and planters to screen parking. Planters to screen parking shall be designed and constructed to appear as integral extensions of the building design. Materials used shall not be inferior to those used in the construction of the principal building.

3. *Buildings.*

- a. *Industrial Buildings.* Except as otherwise provided in this subsection (3), all new nonresidential buildings, including industrial buildings, shall comply with the standards for Mixed-use and Commercial Buildings contained in Section 3.5.3.
- b. *Programming, Massing and Placement.*
  - i. *Height/Mass.* Multiple story buildings are permitted, provided that massing of multiple story buildings shall be terraced back from the river and

from streets so that multiple story buildings are stepped down to one (1) story abutting the River landscape frontage and are stepped down to three (3) stories or less abutting any street frontage. Such terraced massing shall be a significant and integral aspect of the building design.

- ii. Parking lots. Buildings shall be sited so that any new parking lots and vehicle use areas are in either: (1) interior block locations between buildings that face the street and buildings that face the river, or (2) side yards.
  - iii. Frequent view/access. No building wall abutting the landscape corridor along the River shall exceed one hundred twenty-five (125) feet on the axis along the River.
  - iv. Outdoor spaces and amenities. To the extent reasonably feasible, all development shall provide on-site outdoor space such as courtyard, plaza, patio or other pedestrian-oriented outdoor space. To the extent reasonably feasible, outdoor spaces shall be visible from the street and shall be visually or physically connected with any outdoor spaces on adjacent properties.
- c. *Character and Image.* New buildings shall be designed to demonstrate compatibility with the historical agricultural/industrial characteristics of the Subdistrict to promote visual cohesiveness and emphasize positive historical attributes. Such characteristics include simple rectilinear building shapes, simple rooflines, juxtaposed building masses that directly express interior volumes/functions, visible structural components and joinery, details formed by brickwork, sandstone, sills, lintels, headers and foundations and details formed by joinery of structural materials.
- i. Outdoor spaces. Buildings and extensions of buildings shall be designed to form architectural outdoor spaces such as balconies, arcades, terraces, decks or courtyards.
  - ii. Windows. Windows shall be individually defined with detail elements such as frames, sills and lintels, and placed to visually establish and define the building stories and establish human scale and

proportion. Windows shall be placed in a symmetrical pattern relative to the wall and massing. Glass curtain walls and spandrel-glass strip windows shall not be used as the predominant style of fenestration for buildings in this Subdistrict. This requirement shall not serve to restrict the use of atrium, lobby or greenhouse-type accent features used as embellishments to the principal building.

- iii. Roof forms. Flat, shed and gable roof forms corresponding to massing and interior volumes/functions shall be the dominant roof forms. Flat-roofed masonry buildings shall feature three-dimensional cornice treatment integral with masonry on all walls facing streets, the River or connecting walkways. Additional decorative shaped cornices in wood (or other material indistinguishable from wood) shall be permitted in addition to the top masonry cornice treatment. Sloped metal roofs are allowed. Barrel roofs may be used as an accent feature but must be subordinate to the dominant roof. Specialized or unusual roof forms, including mansards and A-frames, are prohibited. A single continuous horizontal roofline shall not be used on one-story buildings except as part of a design style that emulates nearby landmarks (or structures eligible for landmark designation).
- iv. Materials. Building materials shall contribute to visual continuity within the Subdistrict. Textured materials with native and historic characteristics, such as brick, stone, wood, architectural cast stone and synthetic stone in historically compatible sandstone patterns only, architectural metals and materials with similar characteristics and proportions shall be used in a repeating pattern as integral parts of the exterior building fabric. Masonry units must wrap around the corners of walls to not appear as an applied surface treatment. Other exterior materials, if any, shall be used as integral parts of the overall building fabric, in repeating modules, proportioned both horizontally and vertically to relate to human scale, and with enough depth at joints between architectural elements to cast shadows, to better ensure that the character and image of new buildings are visually

related to the Downtown and River context. Lapped aluminum siding, vinyl siding, smooth-face concrete masonry units, synthetic stucco coatings and imitation brick are prohibited.

- v. Primary entrance. The primary entrance must be clearly identified and must be oriented to a major street, pedestrian way, place, courtyard and/or other key public space. The primary entrance must feature a sheltering element such as a canopy or be defined by a recess or a simple surround.
- vi. Accent features. Accent features, where used, must complement and not dominate the overall composition and design of the building and may include secondary entrances, loading docks, garage bays, balconies, canopies, cupolas, vertical elevator/stair shafts and other similar features.
- vii. Awnings and canopies. Awnings and canopies must complement the character of the building and must be subordinate to the facade. Colors must be solid or two (2) color stripes for simplicity.

#### 4. *Site Design.*

- a. *River Landscape.* The natural qualities of the River landscape shall be maintained and enhanced, using plants and landscape materials native to the River corridor in the design of site and landscape improvements.
- b. *Walls, Fences and Planters.* Walls, fences and planters shall be designed to match or be consistent with the quality of materials, the style and colors of nearby buildings. Brick, stone or other masonry may be required for walls or fence columns.
- c. *Street Edge.* A well-defined street edge must be established and shall be compatible with the streetscape in the public realm. Components may include any of the following: planted areas, decorative paving, public art, street furnishing with ornamental lighting and iron and metal work that reflect on the agricultural/industrial heritage of the Subdistrict.
- d. *Corner Lots.* For sites located at public street corners, parking lots and vehicular use areas shall not abut more than one (1) street frontage.

- e. *Parking.* Where parking lots are highly visible from streets or pedestrian-oriented outdoor spaces, a visual buffer must be provided. Such buffering may consist of any of the following singularly or in combination: a low solid screen wall, a semi-opaque screen or a living green wall consisting of plant material sufficient to provide a minimum of seventy-five-percent opacity year-round or other screening device that is sensitive to pedestrian activity.
  - f. *Interim Parking.* Interim parking lots as a principal use may be approved with a gravel surface and without lighting and landscape improvements and shall be restricted to a period of use not to exceed three (3) years. Extensions for two (2) successive periods of one (1) year each may be granted by the Planning and Zoning Board upon a finding that the use is compatible with the context of the area and is a beneficial use which supports the purpose of the River Subdistrict.
  - g. *Service Areas and Outside Storage Areas.* Service areas and outside storage areas that are not used for trash and recycling containers, dumpsters and mechanical equipment must, to the maximum extent feasible, be located to the side or rear of the building and be screened from public view. Notwithstanding the foregoing, where industrial processes and outdoor mechanical activities are functionally integral to the principal use, such areas must, to the extent reasonably feasible, be located to the side or rear of the building and not impact pedestrian areas. Partial screening must be provided with design and materials consistent with the building and/or the agricultural/industrial character of the area.
5. *Design Guidelines.* See also the Fort Collins River District Design Guidelines, which are intended to assist applicants in the preparation of development plans within the Subdistrict.

(F) ***Permitted Uses.***

- (1) The following uses are permitted in the Downtown District subject to basic development review:
  - (a) Any use authorized pursuant to a site specific development plan that was processed and approved either in compliance with the Zoning Code in effect on March 27, 1997, or in compliance with this Code (other than a final subdivision plat, or minor subdivision plat, approved pursuant to Section 29-643 or 29-644 of prior law, for any nonresidential development or any multi-family dwelling containing more than four [4] dwelling units), provided that such use shall be subject to all of the use



and density requirements and conditions of said site specific development plan.

- (b) Any use that is not hereafter listed as a permitted use in this zone district but that was permitted for a specific parcel of property pursuant to the zone district regulations in effect for such parcel on March 27, 1997; and which physically existed upon such parcel on March 27, 1997; provided, however, that such existing use shall constitute a permitted use only on such parcel of property.
- (2) The following uses are permitted in the subdistricts of the Downtown District, subject to Basic Development Review (BDR), Minor Amendment (MA), Administrative (Type 1) Review or Planning and Zoning Board (Type 2) Review as specifically identified on the chart below:

<i>Land Use</i>	<i>Historic Core</i>	<i>Canyon Avenue/Civic/North Mason</i>	<i>Innovation/River</i>	<i>River Corridor</i>	<i>Campus North</i>	<i>Entryway Corridor</i>
Accessory Buildings	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Adult Day/Respite Care Center	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Agricultural Activities	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Artisan: Photography Galleries & Studios	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Bar/Tavern	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Bed and Breakfast	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 1	Type 1
Child Care Center	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Clubs and Lodges	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Community Facilities	Type 1	Type 1	Type 1	Type 2	Type 1	Type 1
Composting Facilities	Not Permitted	Not Permitted	Not Permitted	Type 1	Not Permitted	Not Permitted
Conference/Convention Center	BDR/MA	Type 2	Type 2	Not Permitted	Not Permitted	Not Permitted
Convenience Store (w/o fuel sales)	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 1	Type 1
Convenience Store (w/ fuel sales)	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 1
Day Shelters <10,000sf (w/in 1/4 mi of Transport)	Type 2	Not Permitted	Type 2	Not Permitted	Type 1	Not Permitted
Dog Day Care	Not Permitted	Type 2	Type 2	Not Permitted	Type 2	Type 2
Domestic Violence Shelters	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Drive-In Facilities	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 2	Type 2
Entertainment Facilities & Theatres	BDR/MA	Type 2	Type 1	Not Permitted	Type 2	Type 2
EOR Houses <5 tenants	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
EOR Houses >5 tenants	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1

Exhibit Halls	BDR/MA	Type 2	Type 1	Not Permitted	Type 2	BDR/MA
Fast Food Restaurant (without Drive Thru)	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Food Truck Rally	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Gas Station	Not Permitted	Type 2	Type 2	Not Permitted	Type 2	Type 1
Grocery Store (5,000-45,000sf)	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Group homes	Type 1	Type 2	Type 2	Not Permitted	Type 1	Type 1
Health & Membership Clubs	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Homeless Shelters	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Large Retail Establishments	Type 2	Type 2	Type 2	Not Permitted	Not Permitted	Not Permitted
Limited Indoor Recreation	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Lodging Establishments	Type 2	Type 2	Type 2	Not Permitted	Type 1	Type 1
Long-term Care Facilities	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Medical Marijuana Center	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Medical Marijuana-infused product manufacturers	Not Permitted	Not Permitted	BDR/MA	Not Permitted	Not Permitted	Not Permitted
Medical Marijuana Optional premises operations	Not Permitted	Not Permitted	BDR/MA	Not Permitted	Not Permitted	Not Permitted
Microbrewery/Distillery/Winery	BDR/MA	Type 2	Type 2	Not Permitted	Type 2	Type 2
Minor Public Facilities	BDR/MA	Type 1	Type 1	Type 1	Type 1	Type 1
Mixed-Use Dwellings	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Mixed-Use above non-residential uses	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Multi-family <50 du/ <75 bedrooms	BDR/MA	Type 2	Type 2	Not Permitted	Type 1	Type 2
Multi-family >50 du/>75 bedrooms	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Music Facility, Multi-Purpose	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Music Studios	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Neighborhood Parks	BDR/MA	BDR/MA	BDR/MA	BDR/MA	BDR/MA	BDR/MA

Night Club	BDR/MA	Type 2	Type 2	Not Permitted	Type 2	Type 2
Non-Primary STR	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Offices: Financial Services, and Clinics	BDR/MA	Type 1	Type 1	Not Permitted	BDR/MA	BDR/MA
Off-Site Construction Staging	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Open-Air Farmers Market	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Outdoor Amphitheatre	Type 1	Type 1	Type 2	Not Permitted	Type 2	Not Permitted
Outdoor Vendor (Stationary)	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Outdoor Vendor (excluding Stationary)	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Parking Lots/Garage (as principle use)	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Parks/Open Lands	Type 1	Type 1	Type 1	Type 1	Type 1	Type 1
Personal & Business Service Shops	BDR/MA	BDR/MA	Type 1	Not Permitted	Type 1	BDR/MA
Place of Worship/Assembly	Type 1	Type 1	Type 2	Not Permitted	Type 1	Type 1
Primary STR	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Print Shops	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Public/Private school(college/vocational)	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Public/Private School (elem./int/high)	Type 2	Type 2	Type 2	Not Permitted	Type 2	Not Permitted
Research Laboratories	Not Permitted	Type 1	Type 1	Not Permitted	Type 1	Type 1
Resource Recovery	Not Permitted	Not Permitted	Not Permitted	Type 1	Not Permitted	Not Permitted
Retail Establishment	BDR/MA	Type 2	Type 2	Not Permitted	Type 1	Type 1
Retail Marijuana Store	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Satellite Dishes more than 39" in Diameter	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA
Seasonal Overflow Shelters	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
SFD previously business back to SFD	BDR/MA	BDR/MA	BDR/MA	Not Permitted	BDR/MA	BDR/MA

Single Family Detached dwellings	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	BDR/MA
Single-family attached dwellings	Not Permitted	Type 1	Type 1	Not Permitted	Type 1	BDR/MA
Single-family detached dwellings with no more 800 sq. ft., constructed on lots w/ existing dwellings	Not Permitted	Not Permitted	Type 1	Not Permitted	Not Permitted	Not Permitted
Small Scale Reception Center	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Small/Medium-Scale Solar Energy Systems	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Standard Restaurant	BDR/MA	Type 1	Type 1	Not Permitted	Type 1	Type 1
Supermarkets	Not Permitted	Type 2	Type 2	Not Permitted	Type 2	Not Permitted
Transit Facilities (w/o repair or storage)	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Two-Family Dwellings	Not Permitted	Type 1	Not Permitted	Not Permitted	Type 1	BDR/MA
Unlimited indoor recreational uses and facilities	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 2	Not Permitted
Urban Agriculture	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Vehicle Minor Repair (indoor)	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 2	Type 1
Vehicle Major Repair	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 2
Vehicle Sales	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Type 2
Vet Facility/Small Animal Clinic	Not Permitted	Type 2	Type 2	Not Permitted	Type 1	Type 1
Vet Hospital	Not Permitted	Not Permitted	Not Permitted	Not Permitted	Not Permitted	BDR/MA
Wildlife rescue and education centers	Not Permitted	Not Permitted	Not Permitted	Type 2	Not Permitted	Not Permitted
Wireless Telecommunication Equipment	Type 1	Type 1	Type 1	Not Permitted	Type 1	Type 1
Wireless Telecommunication Facilities	Type 2	Type 2	Type 2	Not Permitted	Type 2	Type 2
Workshops & Small Custom Industry	Not Permitted	Type 1	Type 1	Not Permitted	Type 1	Type 1

(G) ***Prohibited Uses.*** All uses that are not (1) expressly allowed as permitted uses in above Subsection (F) or (2) determined to be permitted by the Director or the Planning and Zoning Board pursuant to Section 1.3.4 of this Land Use Code shall be prohibited.

Section 6. That Division 4.17 of the Land Use Code is hereby repealed and held in reserve.

Introduced, considered favorably on first reading, and ordered published this 19th day of March, A.D. 2019, and to be presented for final passage on the 16th day of April, A.D. 2019.

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk



Passed and adopted on final reading on the 16th day of April, A.D. 2019.

  
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Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk

