

December 14, 1994

Frank Vaught
Vaught-Frye Architects
1113 Stoney Hill Drive
Fort Collins, CO 80525

Dear Frank,

Staff has reviewed your documents for the **C.A.T. 17th Filing, The Winslow PUD, Preliminary**, that were submitted November 21, 1994, and would like to offer the following comments:

1. On Tract C, the building envelope (southwest corner) should be a minimum of 13' back from the right of way to allow enough room for utilities.
2. A 10' separation distance for trees and 4' separation distance for shrubs must be maintained from all water and sanitary sewer mains, services, etc.
3. All buildings exceeding 5,000 square feet in area require an automatic fire suppression system in accordance with Section 3802, UBC as amended by the City of Fort Collins.
4. Fire hydrants must be located within 400' of all buildings. Fire flow is to be determined by building classification/construction type.
5. Columbine CableVision would like to work with you on having Columbine CableVision installed to the buildings.
6. The site shall be accessible to persons with disabilities in accordance with Uniform Building Code Section 3103 and UBC Appendix Section 3106. All required exits and building entrances located within six inches of grade must be accessible. Provide designated and marked accessible routes between buildings and the public way, accessible parking and buildings and connecting accessible buildings and common use areas. Provide parking and signs per Appendix Section 3107. Accessible parking spaces shall comply with Section 4.6, American National Standard Institute publication #A117.1-1992 **"Accessible and Usable Buildings and Facilities"**. Curb ramps should be located at the access aisle rather than at the head of the parking stall.

7. Apartments accessible and adaptable for use by persons with disabilities must be provided in accordance with Section 3103(a)8, as amended by the City of Fort Collins. The 1992 edition of the American National Standard Institute publication #A117.1 "**Accessible and Usable Buildings and Facilities**" should be used in the design of accessible/adaptable dwelling units. A local amendment to the UBC requires that accessible units with numbers of bedrooms and other amenities be provided in the same ratio as the remainder of the project. Covered parking spaces or garages are considered amenities in accordance with this provision. When more stringent, the Colorado revised Statute, Title 9, Article 5, Section 111 also applies to apartment projects. Though not administered at the municipal level, similar requirements are contained in State and Federal civil rights legislation (Fair Housing Acts). Please contact Sharon Getz at 221-6760 with any questions.
8. Temporary retention must be justified and a variance request must be submitted by the revision deadline. Future improvements and how the system will work must be explained. Other comments pertaining to the temporary retention pond are:
 - a. Show the temporary retention pond location (to be built with this project) on the Site Plan.
 - b. Describe the offsite easement for the temporary retention pond and show it on the Plat since it is being constructed with this site.
 - c. Show the temporary retention pond as a separate tract or easement on the Utility and Drainage Plan.
9. The developer is obligated for half of the road on Worthington circle. Money will have to be escrowed for these improvements or the developer will be required to build Worthington Circle to the property line with a temporary cul-de-sac. Sidewalk will be required along the above mentioned portion.
10. Signature blanks must be provided on the Plat.
11. The temporary easement for Cinema Saver must be vacated on the replat of this property.
12. The landscape plan shall contain a general note calling for the review and approval by the City of Fort Collins of any required irrigation system for the landscape.

13. The landscape plan shall include the total area (in square feet) for each landscape category. Landscape categories are distinguished by their water requirements and intended maintenance level. Examples of possible categories include, but are not limited to, high water turfgrass, low water turfgrass, low water planting beds, moderate water planting beds, and non-plant areas (paved areas, etc.). Please refer to page 4 of the attached Water Conservation Standards For Landscapes for further guidance.
14. The Engineering Department requests clarification of the following questions:
 - a. How will the future detention pond in the northeast corner outlet?
 - b. Does a curb inlet serve a concrete pan in the detention pond?
15. On the Utility and Drainage Plan, please show the extent of existing water and sewer mains stubbed out from Center Avenue.

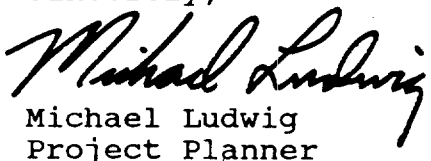
This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request. Please be aware of the following dates and deadlines to assure your ability to stay on schedule for the January 23, 1995 Planning and Zoning Board hearing:

Plan revisions are due by 5:00 p.m. on January 4, 1995. Please contact me for the number of folded revisions required for each document.

PMT's, renderings, and 8 folded copies of final revisions (for the Planning and Zoning Board packets) are due by 3:00 p.m. on January 17, 1995.

Please contact me at 221-6206 if you have any questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,


Michael Ludwig
Project Planner

xc: Kerrie Ashbeck
Stormwater Utility
file/Project Planner



PROJECT COMMENT SHEET

DATE: 19 Dec 1994 DEPARTMENT: *Engineering*

PROJECT: 53-85AJ C.A.T. 17th Filing - The Winslow PUD - Final

PLANNER: Mike Ludwig

All comments must be received by: Friday, December 30, 1994

No Problems

Problems or Concerns (see below)

Site Plan

- Correct errors and omissions in legal description.
- Add meets and bounds to boundary.
- Add type III barricade to S.E. end of Worthington Circle.
- Suggest Type III barricade at the end of the 24 foot private drive.
- Show easements on and off site (for drainage).
- Add scale and N. arrow to vicinity map.
- Designate sidewalk ramps.

Plat

- Add "Phase I" to plat if this is appropriate.

(CONT ON BACK)

Date: 1-9-95

Signature: *Sheila Wankhoff*

CHECK IF YOU WISH TO RECEIVE
COPIES OF REVISIONS:

- | | |
|--------------------------|-----------|
| <input type="checkbox"/> | PLAT |
| <input type="checkbox"/> | SITE |
| <input type="checkbox"/> | LANDSCAPE |
| <input type="checkbox"/> | UTILITY |

- Plat closes 1:2900 feet which is acceptable, but not good.
- Provide easements for off site work (temporary turn around and drainage).

Utility Plans, Sheet 1

- Add "phase 1" to title if appropriate. Also add Date.

Overall Utility Plan, Sheet 3 and 4

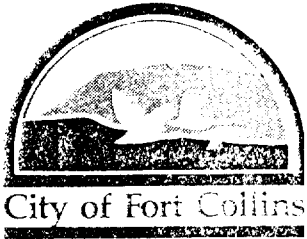
- Show and provide off site easements for temporary turn around, retention pond, and drainage swale.

Details, Sheet 8

- Can not read the print on the Type III barricade detail.

Provide a soils report. This is needed to verify pavement thickness on Worthington Circle.

- SHOW DRIVEWAY LOCATION(S) ON OPPOSITE SIDE OF THE STREET.
- VACATE TEMP EASEMENTS WITH CAT 16th CURB SAVERS
- DRIVEWAYS MUST BE CONCRETE TO R



January 10, 1995

Frank Vaught
Vaught-Frye Architects
1113 Stoney Hill Drive
Fort Collins, CO 80525

Dear Frank,

Staff has reviewed your documents for the **C.A.T. 17th Filing, The Winslow PUD, Final - Phase 1**, that were submitted December 19, 1994, and would like to offer the following comments:

1. Staff does not recommend showing building envelopes on the Plat and noting all area outside of the envelopes as easement for access, utilities and drainage. Any necessary changes in the size or location of the building envelopes will require an easement vacation. Staff recommends that separate utility, access, and drainage easements be shown on the Plat and that building envelopes only be shown on the Site Plan. Modifications to the size or location of the building envelopes would then only require an administrative change to the Site Plan. If you decide to show the building envelopes on the Plat, the southeast corner of the building envelope on Tract C must have a setback from the property/tract line. Straight zoning code requirements would require a minimum 15' setback and 10' building separation. The southwest corner of the building envelope should be a minimum of 13' back from the right of way to allow enough room for utilities.
2. The Mapping Department's review of the Plat indicated that the Plat does not close. The amount of error is 0.69 feet to the north/south and 0.30 feet to the east/west.
3. Since there is no building envelope on Tract B, there is confusion as to whether the entire Tract is an access, utility, or drainage easement. Clarification could be provided by adding a note which states that Tract B is the proposed detention pond and whether or not the entire Tract is an access, utility, or drainage easement.
4. Due to the size and intended use of the building, the City's Fire Code and Building Code will require all portions of the congregate care facility to be provided with an automatic fire suppression system. General Note #1 must be changed to reflect this requirement. Please submit fire suppression system plans to the Poudre Fire Authority Fire Prevention Bureau (221-6570) for review.

5. The construction site must be kept clear to allow for access by fire fighting equipment.
6. The site shall be accessible to persons with disabilities in accordance with Uniform Building Code Section 3103 and UBC Appendix Section 3106. **All** required exits and building entrances located within six inches of grade must be accessible. Provide designated and marked accessible routes between buildings and the public way, accessible parking and buildings and connecting accessible buildings and common use areas. Provide parking and signs per Appendix Section 3107. Accessible parking spaces shall comply with Section 4.6, American National Standard Institute publication #A117.1-1992 **"Accessible and Usable Buildings and Facilities"**. Curb ramps should be located at the access aisle rather than at the head of the parking stall.
7. Apartments accessible and adaptable for use by persons with disabilities must be provided in accordance with Section 3103(a)8, as amended by the City of Fort Collins. The 1992 edition of the American National Standard Institute publication #A117.1 **"Accessible and Usable Buildings and Facilities"** should be used in the design of accessible/adaptable dwelling units. A local amendment to the UBC requires that accessible units with numbers of bedrooms and other amenities be provided in the same ratio as the remainder of the project. Covered parking spaces or garages are considered amenities in accordance with this provision. At least two of the twenty-two covered parking spaces must be handicap accessible and should be reflected in the Land Use Breakdown Parking Data. When more stringent, the Colorado revised Statute, Title 9, Article 5, Section 111 also applies to apartment projects. Though not administered at the municipal level, similar requirements are contained in State and Federal civil rights legislation (Fair Housing Acts). Please contact Sharon Getz at 221-6760 with any questions.
8. A dimension indicating the distance from the north wing to the north property line must be added to the Site Plan.
9. This property is located within the neighborhood sign district. All wall signage will need to be shown on building elevations and locations approved by the Planning and Zoning Board. City Staff will allow the use of the building elevation PMT from the C.A.T. Congregate Living P.U.D. 14th Filing for the C.A.T. 17th Filing, Preliminary only. **The applicant must provide final building elevations for the C.A.T. 17th Filing, Final - Phase 1 to the Planning Department by the February 8, 1995 plan revision deadline.**

10. The Site and Landscape plans do not provide any context of where the proposed development is located within the Center for Advanced Technology. Please either choose a smaller scale for the Site and Landscape Plans which shows surrounding streets and landuses or replace the existing vicinity map with one which shows the C.A.T. 17th Filing in relation to the rest of the C.A.T. parcels and immediately surrounding neighborhoods.
11. The developer is obligated to pay for one-half of the road width for the connection of Worthington Circle to Worthington Avenue. Money will have to be escrowed for these improvements or the developer will be required to build Worthington Circle to the property line with a temporary cul-de-sac. Sidewalk will be required along the above mentioned portion. The current plans show the road being built to the property line but do not include a temporary cul-de-sac.
12. The phase/tract line which delineates the eastern boundary of Tracts B and D (western boundary of Tracts A and C) on the Site Plan needs to be as dark as the rest of the phase/tract lines for Tracts B and D. In addition, the entire boundary of Phase 1 needs to be shown (see southwest corner).
13. The Phase 1 boundary line on the Landscape Plan needs to be darker. The curb and gutter and sidewalk shown at the northwest corner of Tract D does not match what is shown on the Site Plan. Please show clearly on both the Site Plan and Landscape Plan the extent of curb and gutter and sidewalk construction associated with Phase 1.
14. Traditional street trees which match those along the Cinema Saver frontage on Worthington Circle must be added to the Tract D frontage on Worthington Circle. Staff suggests that the three Colorado Spruce trees which are located between the southwest covered parking structure and Worthington Circle be moved closer to the covered parking to make room for the traditional street trees. Staff requests that three additional Colorado Spruce trees be placed along the north side of the northern covered parking structure which is near the boundary of Tract D and C.
15. Staff will require a Type III barricade to the southeast end of Worthington Circle. Staff recommends that a Type III barricade be installed at the west end of the private drive along the Tract B/D boundary. Also, staff recommends a barricade be installed at the north end of the private drive which is southwest of the six car covered parking structure.

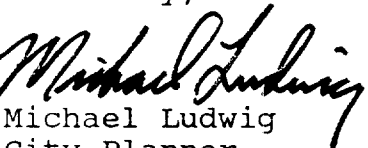
- 16. Attached is a copy of the comments which were noted by the Engineering Department. You will receive a duplicate copy with the utility plans within the next few days. Some of the Engineering Department comments may already be included in the comments listed above.
- 17. Due to the overlap in the C.A.T 17th Preliminary and C.A.T. 17th, Final - Phase 1 submittals, please reference the revision letter dated December 14, 1994 for additional comments which are applicable to the C.A.T. 17th, Final - Phase 1 submittal.

This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request. Please be aware of the following dates and deadlines to assure your ability to stay on schedule for the February 27, 1995 Planning and Zoning Board hearing:

Plan revisions are due by 5:00 p.m. on February 8, 1995. Please contact me for the number of folded revisions required for each document.

PMT's, renderings, and 8 folded copies of final revisions (for the Planning and Zoning Board packets) are due by 3:00 p.m. on February 21, 1995.

Please contact me at 221-6206 if you have any questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,

Michael Ludwig
City Planner

xc: Kerrie Ashbeck
Stormwater Utility
file/Project Planner



City of Fort Collins

Planning Department

PROJECT COMMENT SHEET

DATE: 21 February 1995 DEPARTMENT: ENG

PROJECT: 53-85AK CAT PUD 17th Filing - Ph 2 - Final

PLANNER: Mike Ludwig

All comments must be received by: Friday, 3 March 1995

No Problems

Problems or Concerns (see below)

Missing Traffic Report.

Missing Soils Report.

Comments on Site Plan and Plat will be provided separately, since they were resubmitted.

Utility Plans

Better indicate phasing and work to be done with each phase.

Cover sheet

- Note 6 - Make addition to note into a sentence.

(continued on back)

Date: 3/5/95 Signature: *Shen A. Wankoff*

CHECK IF YOU WISH TO RECEIVE
COPIES OF REVISIONS:

PLAT

SITE
 LANDSCAPE
 UTILITY

Overall Utility Plan

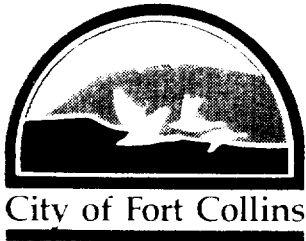
- Need easements for all off site work. Stormdrain system, is this part of phase 2 work?
- Indicate Phases to clarify work.

Sheet 5

- Worthington Circle work is not a part of this project, it should be a part of phase I.
- Sewer and Water service work shown is also being shown as part of phase I.

Outfall to Drake Road.

- Isn't this work to be done with phase I, or are you building something additional?



March 17, 1995

Frank Vaught
Vaught-Frye Architects
1113 Stoney Hill Drive
Fort Collins, CO 80525

Dear Frank,

Staff has reviewed your documents for the **C.A.T. 17th Filing, Phase 2, Final P.U.D.**, that were submitted February 21, 1995, and would like to offer the following comments:

1. Please submit elevation drawings for the proposed building. These drawings must indicate the location of any wall signage.
2. The proposed building exceeds 5,000 square feet in area. An automatic fire suppression system is required in accordance with Section 3802, UBC as amended by the City of Fort Collins.
3. The site must be accessible to persons with disabilities in accordance with Uniform Building Code Section 3106. Provide Designated and marked accessible routes between buildings and the public way and accessible parking and buildings and connecting accessible buildings and common use areas. Provide parking and signs per Appendix Section 3107. All required exits and all building entrances located within six inches of grade shall be accessible to a person in a wheelchair and shall be connected to the public way by an "accessible route" complying with the American National Standards publication A117.1-1992 *Accessible and Usable Buildings and Facilities*.
4. The Site Plan needs to indicate the proposed landuses. Currently, only the square footage of the proposed building is shown. Also, please indicate Tracts A and B on the Site Plan.
5. Please coordinate the location of the transformer with the Light and Power Department. Contact Bruce Vogel at 221-6700.
6. Staff requests that a bike rack be added to the site plan for employee/public use.
7. The addition to Note 6 on the cover sheet of the Utility Plans needs to be made into a complete sentence. The utility plans need to indicate phasing and the work to be done with each phase. There are inconsistencies between the Utility Plans which are being reviewed for the Winslow (Phase 1) and what is

being shown as Phase 1 work on the Phase 2 submittal. Easements are needed for all off-site work. Is the stormdrain system part of Phase 2 work? On sheet 5, Worthington Circle is not part of this project, it should be a part of Phase 1. Also on sheet 5, the Sewer and Water Service work shown is also being shown as a part of Phase 1. Finally the outfall to Drake Road was supposed to be a part of Phase 1, is their something additional which is being proposed? Please coordinate and clarify these inconsistencies with the Engineering Department.

8. Please coordinate the Landscape Plan and the Utility Plans to provide 10' separation for trees and 4' separation for shrubs from water/sewer mains, services, and appurtenances. It appears that water sewer services to the Phase 2 site from Worthington Circle are in conflict with this requirement. Conflict also exists on the North boundary of Tract D due to the fire hydrant location and a water service/fire line.
9. A separate dedication of the "Temporary Turn-Around", and a note on the plat showing the recording of the temporary turn-around are required.
10. Please show a "tie" distance on the west boundary of Tract C to the easement intersection on the Plat.
11. On the Plat, the curve information for the 3542.28' radius curve does not match the information for the same curve on the 17th Filing, Phase 1. Which is correct? Please fix the 17th Filing, Phase 1 if it is wrong, before it is filed.
12. The screened trash enclosure and dumpster(s) need to be relocated as the current location must be accessed through a handicap parking stall and up a sidewalk.
13. Attached are comments from the Stormwater Utility Department which need to be addressed.

This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request. Please be aware of the following dates and deadlines to assure your ability to stay on schedule for the April 24, 1995 Planning and Zoning Board hearing:

Plan revisions are due by 5:00 p.m. on April 5, 1995. Please contact me for the number of folded revisions required for each document.

PMT's, renderings, and 8 folded copies of final revisions (for the Planning and Zoning Board packets) are due by 3:00 p.m. on April 17, 1995.

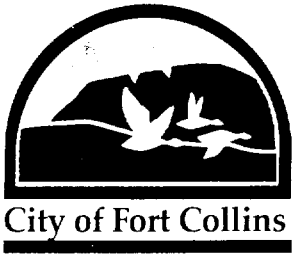
Please contact me at 221-6206 if you have any questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,

A handwritten signature in black ink that reads "Michael Ludwig". The signature is written in a cursive, flowing style.

Michael Ludwig
City Planner

xc: Kerrie Ashbeck
Stormwater Utility
file/Project Planner



May 20, 1996

J. Robert Wilson
c/o Frank Vaught
Vaught-Frye Architects
1113 Stoney Hill Drive
Fort Collins, CO 80525

Dear Frank,

Staff has reviewed your documents for the **C.A.T. 17th Filing, (The Winslow), Amended Final P.U.D.** that were submitted on April 22, 1996, and would like to offer the following comments:

1. **Public Service Company** states: "at the minimum, the Final Plat needs to dedicate 10' minimum width utility easements adjoining the southerly line of Centre Avenue and the easterly line of Worthington Circle."
2. **The Light and Power Utility** states: "the applicant needs to coordinate a transformer location with Light and Power."
3. **The Police Department** states: "the Cinema Savers area attracts a lot of youth and youth related incidents (i.e. vandalism, trespass, alcohol and some gang related activity). Good lighting and security measures will be important for the integrity of the Winslow's safety and security for residents as well as property."
4. **The Zoning Department** states: "the property is located in the Residential Neighborhood Sign District. Please show the location of any wall mounted signs on the building elevations."
5. **The Building Inspections Department** states: "the developer will need to clarify whether the facility is residential or institutional at the time of building permit application. The previous comments were for a residential facility. If institutional, the facility is required to comply with all building code requirements for such use."
6. **The Engineering Department** offers the following comments:
 - a. There are no comments on the proposed changes.
 - b. The applicant needs to submit revised utility plan mylars for approval of revisions prior to recording the Plat and P.U.D.

- c. The development agreement for the P.U.D. has been signed. No new development agreement or amendment to the agreement is necessary based on the changes proposed.

7. **The Water and Wastewater Utility states the following:**

- a. Please add a General Note to the Landscape Plan which states: "All underground utilities shall be field located prior to planting."
- b. Please coordinate the Landscape Plan and Utility Plans to assure that the minimum separation distances are maintained. There appear to be conflicts on the north side of the building with a fire hydrant, sanitary sewer, sewer service, and meter pit.

8. **The Advance Planning Department offers the following comments**

- a. The Site Plan shows garage parking spaces but the Landscape Plan does not. Pinion Pines are needed at the rear of the northwest garage next to Worthington Circle. Please coordinate Site Plan and Landscape Plan elements.
- b. Additional evergreen and deciduous trees are needed on the south side of the building to provide vertical relief for the building (almost 40').
- c. Please specify "high-profile, heavy dimensional composition shingles on the building elevations.

This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request.

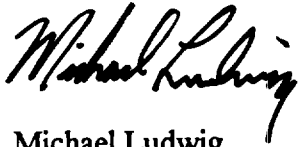
Please be aware of the following dates and deadlines to assure your ability to stay on schedule for the June 24, 1996 Planning and Zoning Board hearing:

Plan revisions are due by 12:00 noon on June 5, 1996. Please contact me for the number of folded revisions required for each document. Revisions and supporting documentation submitted after this deadline will not be reviewed for the June 24, 1996 Planning and Zoning Board hearing.

PMT's, renderings, and 8 folded copies of final revisions are due by 12:00 noon on June 17, 1996.

Please contact me at 221-6206 if you have any questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,

A handwritten signature in black ink that reads "Michael Ludwig". The signature is written in a cursive style with a large, prominent "M" and "L".

Michael Ludwig
Project Planner

xc: Kerrie Ashbeck
Stormwater Utility
file/Project Planner

July 17, 1999

Ted Shepard
Fort Collins Planning Department
281 North College Avenue
Fort Collins, CO 80524

VF RIPLEY
ASSOCIATES INC.

Landscape Architecture
Urban Design
Planning

**RE: Response to staff comments - Winslow Minor Amendment
CAT 17TH Filing.**

401 West Mountain Avenue
Suite 201
Fort Collins, CO 80521-2604
PHONE (970) 224-5828
FAX (970) 224-4662

Dear Ted:

We have reviewed the staff comments and redlined drawings dated April 13, 2000 and have the following comments:

Engineering
Site Plan
Items 1 to 7. All items have been addressed.

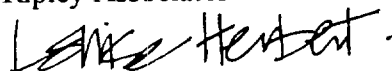
Utility Plans.
See engineers comments.

Water and Wastewater
Items 1 to 4. Acknowledged.

An enhanced crosswalk was shown on the redline drawings connecting the pedestrian sidewalk from the northwest side of the site to the sidewalk adjacent to the detention area (Tract B). Enhanced pedestrian crosswalks within the site are shown connecting 90 Bed Rehab to the north to the Winslow through the site and can be identified within the parking lot. Additional enhanced crosswalks have not been considered necessary as the direct pedestrian connection requiring crosswalks has been from 90 Bed Rehab to the Winslow. A number of sidewalks provided connect the Winslow to adjacent properties.

Please call if you have any questions regarding the above. Thank you for your consideration and we look forward to working with you during the development review process.

Sincerely
VF Ripley Associates



Louise Herbert



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 4/13/00 **DEPT:** Engineering
PROJECT: The Winslow - CAT 17th
PLANNER:
ENGINEER: Sheri Wamhoff

No Problems
 Problems or Concerns (see below or attached)

The Winslow - Minor amendment
Site plan

April 13, 2000

1. Use Driveway cuts at the access points off of Worthington Circle and the drive.
2. For the portion of Walk along Worthington Circle that has not been built why not keep it detached?
3. The building envelope for the maintenance building needs to be reduced by one foot on the south. As shown it is extending into the easement one foot.
4. It appears that the building envelope is extending into the utility access and drainage easement on the north side. Need to actually show the easement on the document and revise the building envelope so it does not encroach into the easement.
5. Show the existing drainage pipe along the southeast border of the property.
6. Need to show the pans tha are located in the northern detention pond.
7. Need to provide sidewalk ramps as shown.

Utility Plans

1. If the sheets provided are to replace the original sheet - need to include everything that was on the original sheet and number it the same as the original sheet and we will sign the sheet in the signature block. If these are additional sheets then need to bubble the area being changed indicate need to see the other sheet for work in that area and then show everything within that bubbled area on the new sheet.
 2. Need to show all of Worthington and the driveways on the south. Do the drives still line up?
 3. Use driveway cuts for the entrances.
 4. Show the existing pipe on the southeast along the property line.
 5. For the portion of Walk along Worthington Circle that has not been built why not keep it detached?
 6. Show the scored concrete sidewalks in the parking lot on the utility plans.
- See plans for additional comments.

Date: 4/13/00 Signature: *S. Wamhoff*

PLEASE SEND COPIES OF MARKED REVISIONS: PLAN
 SITE
 UTILITY
 LANDSCAPE



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 8/7/00 **DEPT:** Engineering
PROJECT: The Winslow - CAT 17th
PLANNER: Ted Sheppard
ENGINEER: Sheri Wamhoff

No Problems
 Problems or Concerns (see below or attached)

The Winslow - minor amendment

August 7, 2000

Site Plan

Please provide the sidewalk ramps as shown. In accordance with the previously approved utility plans the ramp on the north side of the drive should be in place. Please provide the ramp on the south side of the drive so a sidewalk connection from the building to the Centre Avenue will exist.

Utility plan

Please show the sidewalk crossing the eastern access drive out to the extension of Worthington Circle as a scored concrete crosswalk in accordance with how it is shown on the site plan.

Date: 8/7/00 **Signature:** *S. Wamhoff*

PLEASE SEND COPIES OF MARKED REVISIONS:

- PLAT
- SITE
- UTILITY
- LANDSCAPE



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 10/15/00

DEPT: Engineering

PROJECT: CAT 17th - The Winslow minor amendment

PLANNER: Tact Shepard

ENGINEER: Sheri Wamhoff

~~No Problems~~

Problems or Concerns (see below or attached)

No comments - all comments from Eng have been addressed.

Date:

10/15/00

Signature:

PLEASE SEND COPIES OF MARKED REVISIONS:

PLAT

SITE

UTILITY

LANDSCAPE



REVISION COMMENT SHEET

DATE: March 18, 2004

DEPT: **Water/Wastewater**

PROJECT: C.A.T. 17TH Filing The Winslow

All comments must be received by Steve Olt

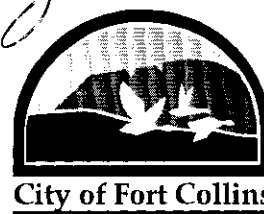
- As previously indicated, the maximum size of a sanitary sewer service is 6-inch unless flow calculations can be provided which justify the need for larger. The response letter indicates that a 225 gpm flow is anticipated from this development. As previously indicated the water service is rated at a maximum of 190 gpm (continues flow). Will a 4-inch water service be needed for this development?
- Provide the revised utility plans for our review.
- See site and landscape plans for other comments.

Date: 3-18-04

Signature: _____

CHECK HERE IF YOU WISH TO RECEIVE COPIES OF REVISIONS

Plat Site Drainage Report Other
 Utility Redline Utility Landscape



City of Fort Collins