



City of Fort Collins

# PROJECT COMMENT SHEET

DATE: 8 June 1993 DEPARTMENT: *Engineering*  
PROJECT: 54-87J MIRAMONT PUD, Castle Ridge - Final

PLANNER: Steve Olt

Please respond to this project by Friday, June 18, 1993.

- No Problems
- Problems or concerns (see below)

- NEED SOILS REPORT + TRAFFIC ANALYSIS
- NEED PROFILE OF CULVERT AND DESIGN CALCULATIONS
- SHOW MORE DETAILS (ELEVATIONS) AT INTERSECTIONS
- SEE REDLINED UTILITY PLANS FOR MORE COMMENTS

Date: 6/25/93 Signature: *[Handwritten Signature]*

CHECK IF REVISIONS REQUIRED:

- PLAT
- SITE
- LANDSCAPE
- UTILITY



City of Fort Collins

# PROJECT COMMENT SHEET

DATE: 8 June 1993 DEPARTMENT: *US West*

PROJECT: 54-87J MIRAMONT PUD, Castle Ridge - Final

PLANNER: Steve Olt

Please respond to this project by Friday, June 18, 1993.

No Problems

Problems or concerns (see below)

Review of these plans should not be construed as a commitment that telephone facilities sufficient to serve this project are presently available. U S WEST will provide telephone service in accordance with the rates and tariffs on file with the Colorado Public Utilities Commission.

Telephone facilities generally occupy rear lot utility easements, which must be located on terrain which permits trenching operations.

U S WEST would require a utility easement across Tract A in line with the east property line of Lot 1, or Tract A could be described as a utility easement.

The developer is responsible for provision of all trench, street crossings, and ditch crossings for telephone facilities within the project, and the developer pays up front construction costs for facilities within the development.

Any relocation of existing telephone facilities required by these plans will be paid for by the developer.

Date: 6-10-93 Signature: *A. Peter*

CHECK IF REVISIONS REQUIRED:

- PLAT
- SITE
- LANDSCAPE
- UTILITY



City of Fort Collins

# PROJECT COMMENT SHEET

DATE: 8 June 1993 DEPARTMENT: PubSec

PROJECT: 54-87J MIRAMONT PUD, Castle Ridge - Final

PLANNER: Steve Olt


Please respond to this project by Friday, June 18, 1993.

No Problems

Problems or concerns (see below)

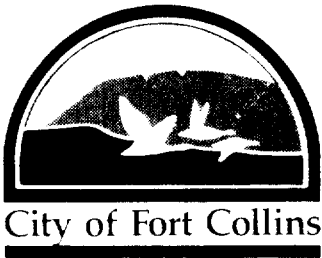
LANDSCAPING IN EASEMENTS NEEDS TO BE COORDINATED WITH  
PSCO TO MAINTAIN A MINIMUM 4' CLEARANCE OF TREES FROM  
OUR NATURAL GAS LINES.

Date: 6-10-93

Signature: 

CHECK IF REVISIONS REQUIRED:

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- UTILITY



Community Planning and Environmental Services  
Planning Department

June 24, 1993

Eldon Ward  
Cityscape Urban Design, Inc.  
3555 Stanford Road, Suite 105  
Fort Collins, CO. 80525

Dear Eldon,

Staff has reviewed your submittal for **Castle Ridge at Miramont P.U.D. - Preliminary & Final**, and would like to offer the following comments:

1. The storm drainage-related engineering documents received at time of submittal on June 7th are considered to be insufficient for a combined Preliminary & Final review. Staff will continue to review these documents as a preliminary submittal only and take this development request to the Planning and Zoning Board on July 26th for a preliminary decision. The concerns are centered around the impacts of the off-site drainage flows into Mail Creek and the proposed street crossing over the ditch, and the ownership of adjacent property based on the possible need for an off-site drainage easement. Kate Malers of the **Stormwater Utility** is your contact person with storm drainage-related questions. Kate can be reached at 221-6589.
2. A street width variance request, for the proposed 28' wide private streets, needs to be formally submitted to the Engineering Department for review. The streets as proposed do appear to be appropriate for the nature of this development. Please contact Mike Herzig of the **Engineering Department** with questions on the variance procedure. Mike can be reached at 221-6750.
3. A utility easement across Tract A, in line with the east property line of Lot 1, is required by **U.S. West**, or Tract A could be described as a utility easement. A copy of the U.S. West comment sheet is attached.
4. **Public Service Company** has stated that all landscaping in the utility easements should be coordinated with them and a minimum 4' horizontal clearance must be maintained between trees and their natural gas lines.

5. The **Post Office** has no comments until they have street names to review.
6. A building envelope or setbacks for the gazebo must be shown on the Site Plan. Also, a building permit will be required for the gazebo.
7. The legal description on the subdivision plat does not, but needs to, say "To the True Point of Beginning". Also, the legal description submitted as part of the Planning Objectives packet must reference the "True Point of Beginning". This legal has two "North 14 degrees, 10 minutes, 00 seconds" calls (near the end of the legal) in a row that do not match the subdivision plat.
8. The **Mapping Department** has a question about how they can address the plat if Tract B is not intended to be named.
9. The subdivision plat should address how the tracts, especially Tract B, will be maintained.
10. **Light & Power** has the following comments:
  - a) The electric system for the Upper Meadows at Miramont, 2nd filing will need to be installed first in order to have an electric source for Castle Ridge.
  - b) The easement along Mail Creek Lane needs to be 8' wide. Also, continue the 8' easement onto Tract D along Mail Creek Lane.
  - c) The developer will need to provide a location for 2 - 2" conduits crossing Mail Creek at the box culvert on Highcastle Drive.
  - d) Water service line locations will need to be coordinated with Light & Power facilities prior to water service line installation.

Please contact Doug Martine at 221-6700 with questions related to electric service.

11. Parkland fees, currently \$625 per dwelling unit, are proposed to increase. These fees will be collected at the time of issuance of building permits.
12. The proposed Bechtel Crabapples are inappropriate because the species is one of the most susceptible to fire blight. Please arrange a site visit with Tim Buchanan, the City Forester, to evaluate the existing trees and the potential impacts of the overlot grading for the development on the trees. Tim can be reached at 221-6640.

13. Is there a proposed trail access between Lots 9 and 10 (Tract D)? If so, then a paved trail or gravel path should be provided for access between the neighborhood and Werner Elementary School.
14. The Site Plan should indicate the maximum height of homes in Castle Ridge.
15. Tracts A and B should be a utility, drainage & public access easements. What is the intent for access (public or private) through Tract C and what is the general intent for Tract D? General Note 5 on the Site Plan does not seem to coincide with the subdivision plat or the assumed intent of the open space tracts (providing private or public access).
16. The Planning Objectives should discuss the density in this phase and its relationship to the density reflected on the Oak/Cottonwood Farm overall development plan. How does Castle Ridge fit into the overall scheme of things?
17. Fencing details, guidelines, and possible restrictions should be provided. The narrow open space tracts between lots and the potential for these areas to get "fenced in" is of concern.
18. A concern about the notification area for Affected Property Owners was expressed at the neighborhood meeting for Oak/Cottonwood Farm held on June 2, 1993 and facilitated by Ted Shepard of the Planning Department. A modified area map is being provided to enable you to expand the current APO list.

This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request. Please be aware of the following dates and deadlines to assure your ability to stay on schedule for the July 26, 1993 Planning and Zoning Board hearing:

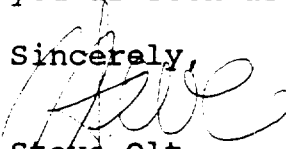
**Plan revisions are due July 7, 1993 by 12:00 noon. Please contact me for the number of folded revisions required for each document.**

**PMT's, renderings, and 8 folded copies of final revisions (for the Planning and Zoning Board packets) are due July 19, 1993.**

**Final documents (including the signed development agreement, applicable mylars and utility plans) are due July 22, 1993 by 12:00 noon.**

Please contact me at 221-6750 if you have questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,



Steve Olt  
Project Planner

xc: Kerrie Ashbeck  
Sherry Albertson-Clark  
Advance Planning  
Stormwater Utility  
Transportation  
Parks & Recreation  
Natural Resources  
RBD inc.  
file/Project Planner