



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 26 December 1995 DEPARTMENT: ENG

PROJECT: #52-91B. Fossil Creek Office PUD, Ph I
Preliminary & Final

PLANNER: Mike Ludwig

All comments must be received by: FRIDAY, 5 January 1996

☐ No Problems

☒ Problems or Concerns (see below or attached)

- ❖ Street improvements must be completed to the north property line prior to the issuance of a building permit for Lot 10. The design must be completed with this P.U.D. and the development agreement will address the obligation to complete the construction of the improvements.
- ❖ The developer is required to enter into a development agreement prior to recording the final P.U.D.
- ❖ The utility plans for Phase One need to be organized into a complete set and include a title sheet, index, general notes, and any details for current standards needed to complete the project (water and sewer services if there are any changes to what may be existing, curb and gutter, sidewalk,...) In addition, the design for the frontage road to the north property line must be included.
- ❖ Sidewalk is required on both sides of the street. Any existing damaged sidewalk, curb and gutter, and pavement will be required to be repaired/replaced. Utility cuts may require an overlay of the existing streets.

Date: 1/19/96 Signature: KERRIE ASHDECK

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FOSSIL CREEK OFFICE PARK EAST - revised plans 2/2/96

Engineering Department Comments

Sheet 1/8:

- It appears from the plans that no changes to the existing water and sewer services are proposed, however, if any changes are made, the utility plans must be approved by the District prior to submittal for final City approval.

~~There are no~~ THE ONLY CHANGE IS AN ADDED SEWER & WATER SERVICE FOR THE NORTH BUILDING ON LOT 14

Sheet 2/8:

- No comments - reference copy of the plat only

Sheet 3/8:

- In general, this sheet and the other utility plan sheets lack detailed information on the new construction of sidewalk, driveways, and the section of frontage road adjacent to Lot 10 being built with this P.U.D. The site plan contains a lot of detail that is not on the utility plans. Please add information and notes to this sheet to clarify what, if any, utility construction is existing and being modified at this time, or being completed now. For example, there is a note about relocation of a fire hydrant, but it is not clear if that work has been done or is to be done now. If old plans sheets from the original project are going to be utilized as plans for this PUD, the plans have to be very clear about what is existing and not being modified, what is existing and being modified or reconstructed, and what is new construction altogether. This goes for all sheets in the plan set. I labeled all

EXISTING IMPROVEMENTS AND ALSO ADDED A NOTE EXPLAINING WHAT IS EXISTING AND WHAT WILL BE CONSTRUCTED.

Sheet 4/8:

- Same comments as for sheet 3, only the utility information is not needed on this plan. Clarify curb, gutter, sidewalk, driveway, and street construction limits. Show driveways and provide details, spot elevations, radii, for driveway construction. I labeled what was existing and noted what was existing and what was to be constructed. I noted to see sheets 6, 7, 8 & 9.
- Show limits of any existing curb, gutter, sidewalk, asphalt, being removed and/or replaced due to driveway construction and/or existing damaged areas. An overlay of Coronado Court will be required.
- Provide plan view information on the frontage road construction. Show grading information for the street construction. I added Sheet 9 as Plan & Profile of Frontage Road.

Sheet 5/8:

- Profile for the portion of the frontage road being constructed now shows that off-site grading is necessary on the property to the north in order for the frontage road improvements to tie in on the north property line on an interim basis until the road is extended to the north. The property to the north has an existing access drive and gate at the property line. How will this access work with the frontage road improvements required with the Fossil Creek Office Park East PUD? Since off-site interim grading improvements are necessary, an off-site easement is required prior to final plan approval. *I added a new Plan & Profile of Frontage Road and matched ground at property line. It is Sheet 9.*

Sheet 6/8:

- Site plan shows good detail compared to utility plans. Please modify utility plans and street design information to match what is shown on the site plan (show sidewalks, driveways, etc.) *Sheets 4 & 5 ARE REFERENCE ONLY. I ADDED NOTES TO SHEETS 4 & 5 ON WHAT WAS EXISTING etc. I changed name of Sheet 6 to "Overall Utility Plan". Sheets 6, 7, 8, & 9 are the construction plans.*

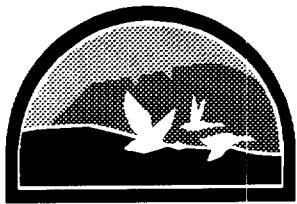
Sheet 7/8:

- Grading plan shows that off-site grading easements are necessary especially to tie the frontage road improvements in to the property to the north.

The grading plan shows we are tying in to existing contours at property line with finish contours. ~~the~~ I re drew the frontage Road. Profile and we fit existing at property line.

Sheet 8/8:

- Detail sheet - need to add driveway details



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: -

DEPT: ENGINEERING

PROJECT: FOSSIL CREEK OFFICE PARK EAST PLD?

PLANNER:

All comments must be received by:



No Problems

Problems or Concerns (see below or attached)

- Please design the frontage road to meet the City's maximum grade of 8.00% the 10% grade shown is unacceptable. The grade of the roadway will require off-site grading on the undeveloped property to the north which currently accesses the north end of the frontage road r.o.w. Since construction of the ultimate frontage road improvements adversely impacts the currently existing land use and existing access to the property to the north, the construction of the frontage road improvements can be delayed until the property to the north redevelops. At that time, it is anticipated that the frontage road will be extended to the north to tie in behind the old Weberg's site to a proposed east-west roadway. The owner/developer of Lot 10 of Fossil Creek Office Park East P.U.D. will be obligated to escrow funds for the completion of the frontage road improvements adjacent to Lot 10 prior to issuance of a certificate of occupancy for Lot 10. This will all be stipulated in the development agreement. However, the utility plans should show the future profiles for the frontage road extension to meet current standards and to tie in to the property to the north in a workable fashion. MILL BROTHERS DID NOT WANT TO ENCUMBER THEIR PROPERTY WITH A GRADING EASEMENT. THEREFORE WE RE-DESIGNED THE ROAD PROFILE AND ROUGH CUT THE ROADWAY AND ON NORTH ON MILL BROTHERS' PROPERTY. SOME BASE MATERIAL WAS PLACED SO THAT MILLBROS. CAN CONTINUE TO EXIT THEIR PROPERTY.

Date: 2/24/97

Signature: K. ASHBECK

PLEASE SEND COPIES OF MARKED REVISIONS:

THE ASPHALT, CURB, GUTTER AND
SIDEWALK WILL BE CONSTRUCTED WHEN
LOT 10 IS BUILT ON.

- ☐ PLAT
- ☐ SITE
- ☐ UTILITY
- ☐ LANDSCAPE



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 25 June, 1997

DEPT: Engineering

PROJECT: Fossil Creek Office Park East P.U.D.

PLANNER:

ENGINEER: Michael Coley



No Problems

Problems or Concerns (see below or attached)

Sheet 5: The blue line is not very legible. Sheet 5 is "FOR REFERENCE ONLY".
It is an old version that does not make good prints. We will try to make a better print.

Sheet 9: Must show grade lines for preliminary road design extending 500' beyond proposed construction. If Frontage Rd. is extended beyond the North property line, will 8.00% maximum flowline grade be attainable?

The road will probably only be extended 225 feet at the most because that is the width of Mill Brothers Nursery Property. North of their property is developed as Rhodes Furniture Store. The 8% is attainable. There would not be too much cut. I extended the profile at 8%.

Date: 6/25/97

Signature: *Michael Coley*

PLEASE SEND COPIES OF MARKED REVISIONS:



PLAT



SITE



UTILITY



LANDSCAPE



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 10 October, 1997

DEPT: Engineering

PROJECT: Fossil Creek Office Park East PUD

ENGINEER: Michael Coley



No Problems

Problems or Concerns (see below or attached)

Utility Plans


Sheet 6:

- ⌘ Modify notes as shown on redline utility plan.
- ⌘ Eliminate some parking stalls between lots 9 and 15 to conform to the Parking Setback Chart, found on Table 5 in the City Design and Construction Criteria.

Sheet 7A:

- ⌘ Why are you proposing grading North of building 14A? The existing contours seem adequate.

Date: 10/10/97

Signature: 

PLEASE SEND COPIES OF MARKED REVISIONS:



PLAN

SITE

UTILITY

LANDSCAPE



City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 22 Apr '96 DEPARTMENT: PSCo.
PROJECT: Fossil Creek Office Park West PUD (pr)
PLANNER: Mike Ludwig

All comments must be received by: Friday, Feb 2nd

☒ No Problems

☐ Problems or Concerns (see below or attached)

Date:

1/26/96

Signature:

[Signature]

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City of Fort Collins

Current Planning

PROJECT COMMENT SHEET

DATE: 22 Apr '96 DEPARTMENT: ENGR

PROJECT: ^{52-91C} Fossil Creek Office Park West PUD (pre)

PLANNER: Mike Ludwig

All comments must be received by: Friday, Feb 2nd

☐ No Problems

☒ Problems or Concerns (see below or attached)

FOSSIL CREEK OFFICE PARK WEST P.U.D. - Prelim
SITE PLAN:

- ❖ Alvorada Drive must end in a permanent cul-de-sac (on-site or off-site) if the property to the south is acquired by the City for open space/natural area. Otherwise, a temporary turnaround must be constructed (on-site or off-site).
 - A permanent cul-de-sac requires dedication of r.o.w. and utility easements for a standard City cul-de-sac. A temporary cul-de-sac easement has been platted with the original plat. If a temporary cul-de-sac is constructed on-site, it must be paved. If a temporary cul-de-sac easement is provided off-site, the cul-de-sac can be road base.
- ❖ Another option, if the City acquires the property to the south for open space/natural area, would be to vacate the r.o.w. for Alvorada Court back to Cameron Drive. The lots south of Cameron Drive could be accessed by a private access drive. In addition, if the owner(s) want to, the lots could be replatted into a different configuration.

Date: 2/6/96 Signature: KERRIE ASHBECK

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- ❖ Sidewalks must be provided on both sides of all public streets being completed or constructed with this P.U.D. and access ramps must be constructed at intersections and driveways.

UTILITY PLANS

- ❖ The Natural Resources Department is concerned about the impacts of the proposed grading of the lots adjacent to the ravine as well as the disturbance caused by construction and grading for Cameron Drive crossing that area. The Developer needs to meet with Natural Resources staff to discuss this. The grading and drainage plans may be affected and other information such as limits of construction and a mitigation plan may be necessary for final P.U.D. submittal.
- ❖ From the Engineering Department's standpoint, the plans are O.K. for a preliminary. However, Natural Resources and the Developer/Owner(s) need to discuss if the City is definitely purchasing the parcel to the south all the way to the south property line of this P.U.D. If so, prior to the preliminary P & Z hearing, the developer needs to decide which option, permanent cul-de-sac or private drive access, he will be pursuing with the final P.U.D. and show this on the revised site plan. The following comments can be addressed with the final P.U.D. utility plans:

1/6: General notes need to include those for the FCLWD/SFCSD

2/6: If a permanent cul-de-sac is to be constructed at Alvorada Drive then original, executed deeds of dedication for the permanent r.o.w. and utility easements around the cul-de-sac must be provided prior to final Planning and Zoning Board hearing.

- If the City acquires the property to the south and the Developer chooses to vacate the r.o.w. for Alvorada Court, the vacation requires 2 readings by the City Council of an Ordinance to vacate the r.o.w. The 1st reading would need to occur prior to the P & Z hearing for the final P.U.D. Staff will coordinate the timing of this with the Developer if he chooses this option.

3/6: Same comments regarding Alvorada Court and construction of sidewalks and ramps as described above.

Show and/or label more clearly the start of new construction with this P.U.D. and define the limits of work being completed with this project.

Current approvals from the water and sanitation District will need to be obtained prior to submitting mylars to the City for approval.

4/6: Same comments as 3/6

5/6: Need to complete the design of the public streets to current City standards, define the limits of new construction, show plan view for street construction with stationing, curve data, spot elevations, Some of this information is on grading plan but need to provide a street design with final P.U.D.

2% grade in cul-de-sacs or justify a variance and submit a variance request.

6/6 No comments



South Fort Collins
Sanitation District

MEMO

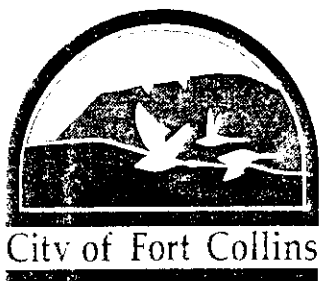
TO: Mr. Mike Ludwig, City of Fort Collins Planner
FROM: Mr. Terry W. Farrill, Systems Engineer *TW*
DATE: February 5, 1996
RE: Fossil Creek Office Park West PUD (preliminary)

The Fort Collins - Loveland Water District and the South Fort Collins Sanitation District have reviewed the proposed project and submit the following comments:

The drawings are to be corrected to satisfy current District design criteria and specifications, at a minimum.

Please do not hesitate to contact me at 226-3104, ext. 14, if you have any questions or require additional information.

xc: Mr. Michael D. DiTullio, Manager



February 16, 1996

John Prouty
Lagunitas Company
3307 South College Avenue, Suite 200
Fort Collins, CO 80525

Dear John,

Staff has reviewed your documents for the **Fossil Creek Office Park West P.U.D., Preliminary** that were submitted January 22, 1995, and would like to offer the following comments:

1. The Zoning Department offers the following comments:
 - a. Please provide a statistical breakdown on the Site Plan of the number of parking spaces being provided.
 - b. Please show parking lot and space dimensions.
 - c. Please show building envelope dimensions and the distances of the envelopes from the property lines.
 - d. Stairways must be within the building envelopes.
2. The Building Inspections Department offers the following comments:

The site shall be accessible to persons with disabilities in accordance with Uniform Building Code Section 3103 and UBC Appendix Section 3106. Provide a designated and marked accessible route of travel between all of the buildings on the site and building exits and entrances and the public way (public sidewalk). Accessible routes shall comply with ANSI A117.1-1992 with running slopes no greater than 1:20 and cross slopes no steeper than 1:50. Where routes cross lanes for vehicle traffic they shall be designated and marked as a cross walk. Provide parking and signs per Appendix Section 3107. Parking and access aisles shall comply with ANSI A117.1-1992 with slopes no greater than 1:50 in any direction. Accessible parking spaces as required by UBC Table A31A must be located on each lot.

3. The Mapping Department requests that a Plat of the property be submitted with the plan revisions.

4. The Poudre Fire Authority states that a second point of access to the property is required. It is not clear at this time, how this will occur. If a secondary point of access is not provided, all buildings greater than 660' from the frontage road along South College Avenue must be fire sprinklered. Please refer to All-Development Criteria A-2.5 "Emergency Access".
5. U S WEST states that:

"Review of these plans should not be construed as a commitment that telephone facilities sufficient to serve this project are presently available. US WEST will provide telephone service in accordance with the rates and tariffs on file with the Colorado Public Utilities Commission.

The owner is responsible for provision of all conduit, ditch crossings, and street crossings for telephone facilities within the project. The owner also provides terminal room space (usually 8' x 4') and power for the main terminal at one building on each property, generally in a utility room. The owner's vendor provides all facilities beyond the main terminal to each building and living unit. Many vendors, including U S WEST, are available to install the facilities beyond the main terminal. Contact the U S WEST engineer for conduit specifications for the main telephone entrance cable.

Any relocation of existing telephone facilities required by these plans will be paid for by the developer."
6. The Fort Collins - Loveland Water District and the South Fort Collins Sanitation District have reviewed the proposed project and state that the drawings are to be corrected to satisfy current District design criteria and specifications, at a minimum.
7. The Planning Objectives state that the proposed project "B. Promotes alternative transportation modes - transportation to these centrally located office uses is more likely to be bus or bicycle"; and "C. Promotes use of mass transit - bus stop nearby on College Avenue." However, TRANSFORT has indicated that the nearest bus stops are at the northeast corner of S. College Avenue at Harmony (northbound); at the southwest corner of W. Harmony and Mason (eastbound); and at the northwest corner of W. Harmony and Mason (westbound). Each of these stops is more than half-mile away, with no direct access.
8. The Natural Resources Department stated that it appears that buildings/lots 20 and 21 are adequately positioned, however, a more environmentally sensitive approach for the remainder of the lots need to be discussed with City staff. Please refer to the Planning Department's comment regarding All-Development Criteria.
9. Comments from the Engineering Department are attached.
10. Comments from the Stormwater Utility are attached.

11. The Planning Department offers the following comments:

POINT CHART:

- a. Criterion 2f of the Business Service Uses Point Chart asks: "Is there direct vehicular and pedestrian access between on-site parking areas and adjacent existing or future off-site parking areas which contain more than ten (10) spaces?" Please provide documentation which shows the location of the existing or future off-site parking areas and agreements which allow direct access to and use of off-site parking areas.
- b. Based upon the information that was submitted, Staff is only able to justify 22 points on the Business Service Uses Point Chart. The applicant must either provide documentation to justify 6 points for joint parking; or gain a minimum of 2 points for Energy Conservation (and thus claim that joint parking is not-applicable) to achieve 50% of the maximum applicable points of the Business Service Uses Point Chart.

If the project is unable to achieve 50% of the maximum applicable points, the applicant must submit a request and justification for a variance.

ALL-DEVELOPMENT CRITERIA:

Staff is concerned that the proposed development as currently designed, does not adequately address All-Development Criteria A-2.2, A-2.3, A-2.4, A-2.5, A-2.6, and A-2.13. A separate meeting with the Planning and Natural Resources Departments should be scheduled as soon as possible to discuss these concerns.

SITE PLAN:

- a. Please revise the title of the Site Plan to state "Fossil Creek Office Park West P.U.D., Preliminary."
- b. Please label the Site Plan as "Sheet 1 of 2". (If Preliminary P.U.D. approval is granted and a Final P.U.D. submitted, a separate building elevation sheet (Sheet 3) will be required. The plans will need to be renumbered again.)
- c. Please revise General Note #3 to state: "Maximum building height is 30'. (Buildings are two-story with basements.)"
- d. Please revise General Note #4 to state: "Existing zoning is B-P, Planned Business with a P.U.D. condition."
- e. Please revise General Note #9 to state: "All mechanical equipment to be within the building or completely enclosed and screened from the public view."
- f. Please revise General Note #10 to state: "This property is located in the Residential Neighborhood Sign District. The location of all flush wall signs is to be reviewed by

the Planning and Zoning Board. All other aspects of signage for the development must comply with the requirements of Chapter 29, Article IV of the City Code (the Sign Code)."

- g. Please delete General Note #14.
- h. Please label the scale of the Vicinity Map.
- i. Please revise the boundary of the site on the Vicinity Map to adequately reflect the P.U.D. boundary.
- j. If there are multiple owners of the buildings/lots this should be reflected in the Owner's Certification.
- k. Please add the legal description of this P.U.D. to the Site Plan.
- l. Please revise the label of the adjacent Fossil Creek office park to state: "Fossil Creek Office Park East P.U.D."
- m. There must be at least 40' of distance from the public right-of-way to the first parking stalls of the parking lots.
- n. Please revise the design of parking the parking lots to avoid backing conflicts.
- o. Additional bike racks are needed (one per building should be provided).

LANDSCAPE PLAN:

- a. 6% interior parking lot landscaping must be provided as well as landscaping adequate to screen parked cars from the public right of way.
- b. Foundation plantings are also needed around each of the proposed office buildings.
- c. Street trees are needed along Cameron Drive.
- d. Trash enclosures must be enclosed with a fence/gate and screened by landscaping.
- e. Please add a note which states: "Developer to ensure that the landscape plan is coordinated with the plans done by other consultants so that the proposed grading, storm drainage, or other construction does not conflict nor preclude installation and maintenance of landscape elements on this plan."
- f. Please add a note which states: "Existing trees to be saved should be marked with prominent identification where tree trunks are apt to be damaged, they should be protected with metal posts and snow fence." (Also add this note to the utility plans.)

- g. Please add a note which states: "Heavy equipment should not be allowed to compact over the soil over the root zone of existing trees." (Also add this note to the utility plans.)
- h. Please add a note which states: "Avoid cutting of surface roots wherever possible. Sidewalks and paving levels should be contoured sufficiently to avoid such cutting." (Also add this note to the utility plans.)
- i. Please add a note which states: "Root cuts from excavations should be done rapidly. Smooth flush cuts should be made. Backfill before the roots have a chance to dry out and water the tree immediately." (Also add this note to the utility plans.)

This completes the review comments at this time. Additional comments may be forthcoming as the various departments and reviewing agencies continue to review this request. As per the applicant's request, this proposal has been continued to the April 22, 1996 Planning and Zoning Board hearing.

Please be aware of the following dates and deadlines to assure your ability to stay on schedule for the April 22, 1996 Planning and Zoning Board hearing:

Plan revisions are due by 12:00 noon on April 3, 1996. Please contact me for the number of folded revisions required for each document.

PMT's, renderings, and 8 folded copies of final revisions are due by 12:00 noon on April 15 1996.

Please contact me at 221-6206 if you have any questions or concerns related to these comments. I would like to schedule a meeting with you as soon as possible, if necessary, to discuss these comments.

Sincerely,



Michael Ludwig
Project Planner

xc: **Kerrie Ashbeck**
Stormwater Utility
file/Project Planner