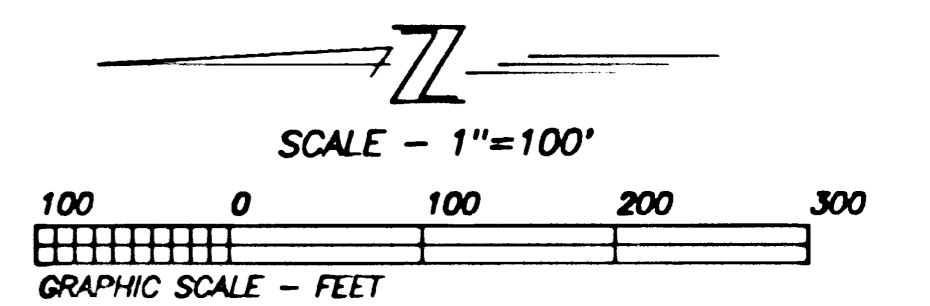


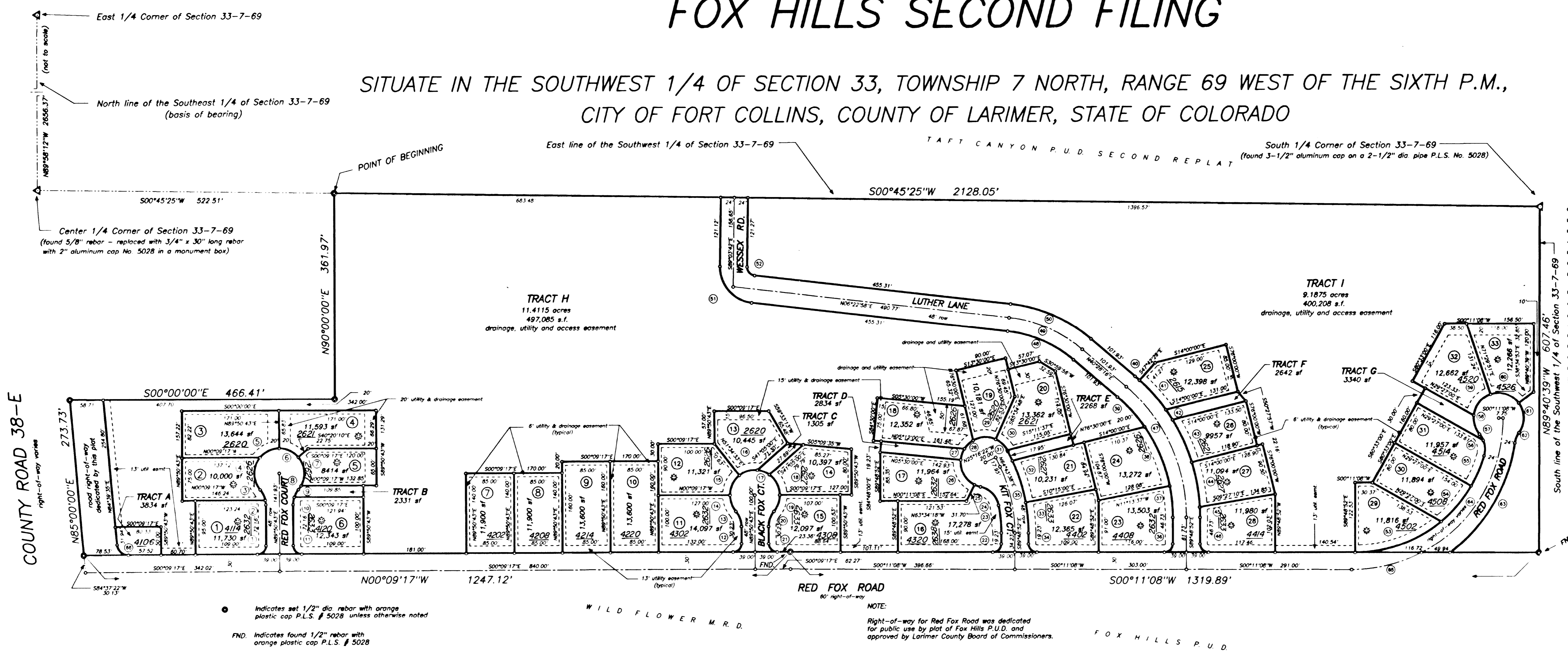
F-121 1994

A PLAT OF FOX HILLS SECOND FILING

SITUATE IN THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 7 NORTH, RANGE 69 WEST OF THE SIXTH P.M., CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO



NOTES:
There is a 13' utility easement on the front of all lots; a 6' utility and drainage easement on the side and rear of all lots unless otherwise shown.
☼ - Indicates solar oriented lots; there are 23 solar lots which is 70% of the total lots.
Fences on lots adjacent to the open space are limited to 4' in height and shall be an open style with natural colors as per the Fox Hills Covenants. Fencing to be installed as desired per the individual homeowners.
Farm animals are not intended to be allowed within the completed portions of the development area of Fox Hills.
Natural open space Tracts H and I are to be conveyed to the City of Fort Collins with the filing of this final plat. Tracts H and I are to be drainage, utility and access easements. The two detention ponds on Tract H and the one detention pond on Tract I and their outlet pipes will be maintained by the Fox Hills Home Owners Association.
Tracts A,B,C,D,E,F, and G are landscape, drainage, utility, and access easements, and are to be retained and maintained by the Fox Hills Home Owners Association.
The part of each lot that is disturbed, shall be revegetated and stabilized to prohibit erosion.



CURVE	RADIUS	LENGTH	DELTA	CHORD	CHORD BEARING
1	15.00	23.56	80°00'00"	21.21	S 45°09'17"E
2	41.00	27.80	110°11'30"	20.59	N 64°18'54"E
3	41.00	20.82	28°05'31"	20.59	N 64°18'54"E
4	44.00	41.75	74°45'31"	37.44	S 84°42'07"E
5	44.00	38.67	50°21'38"	37.44	S 25°20'08"E
6	44.00	49.40	49°40'07"	37.06	S 24°45'16"E
7	44.00	51.81	70°04'34"	50.52	S 84°42'07"E
8	44.00	15.83	21°41'58"	15.55	N 60°08'06"W
9	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
10	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
11	44.00	11.56	15°56'00"	11.21	S 44°50'43"W
12	15.00	23.56	80°00'00"	21.21	S 45°09'17"E
13	41.00	27.80	110°11'30"	20.59	N 64°18'54"E
14	44.00	38.67	50°21'38"	37.44	S 84°42'07"E
15	44.00	41.75	74°45'31"	37.06	S 24°45'16"E
16	44.00	49.40	49°40'07"	37.06	S 24°45'16"E
17	44.00	51.81	70°04'34"	50.52	S 84°42'07"E
18	44.00	15.83	21°41'58"	15.55	N 60°08'06"W
19	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
20	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
21	44.00	11.56	15°56'00"	11.21	S 44°50'43"W
22	15.00	23.56	80°00'00"	21.21	S 45°09'17"E
23	41.00	27.80	110°11'30"	20.59	N 64°18'54"E
24	44.00	38.67	50°21'38"	37.44	S 84°42'07"E
25	44.00	41.75	74°45'31"	37.06	S 24°45'16"E
26	44.00	49.40	49°40'07"	37.06	S 24°45'16"E
27	44.00	51.81	70°04'34"	50.52	S 84°42'07"E
28	44.00	15.83	21°41'58"	15.55	N 60°08'06"W
29	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
30	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
31	44.00	11.56	15°56'00"	11.21	S 44°50'43"W
32	15.00	23.56	80°00'00"	21.21	S 45°09'17"E
33	41.00	27.80	110°11'30"	20.59	N 64°18'54"E
34	44.00	38.67	50°21'38"	37.44	S 84°42'07"E
35	44.00	41.75	74°45'31"	37.06	S 24°45'16"E
36	44.00	49.40	49°40'07"	37.06	S 24°45'16"E
37	44.00	51.81	70°04'34"	50.52	S 84°42'07"E
38	44.00	15.83	21°41'58"	15.55	N 60°08'06"W
39	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
40	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
41	44.00	11.56	15°56'00"	11.21	S 44°50'43"W
42	15.00	23.56	80°00'00"	21.21	S 45°09'17"E
43	41.00	27.80	110°11'30"	20.59	N 64°18'54"E
44	44.00	38.67	50°21'38"	37.44	S 84°42'07"E
45	44.00	41.75	74°45'31"	37.06	S 24°45'16"E
46	44.00	49.40	49°40'07"	37.06	S 24°45'16"E
47	44.00	51.81	70°04'34"	50.52	S 84°42'07"E
48	44.00	15.83	21°41'58"	15.55	N 60°08'06"W
49	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
50	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
51	44.00	11.56	15°56'00"	11.21	S 44°50'43"W
52	15.00	23.56	80°00'00"	21.21	S 45°09'17"E
53	41.00	27.80	110°11'30"	20.59	N 64°18'54"E
54	44.00	38.67	50°21'38"	37.44	S 84°42'07"E
55	44.00	41.75	74°45'31"	37.06	S 24°45'16"E
56	44.00	49.40	49°40'07"	37.06	S 24°45'16"E
57	44.00	51.81	70°04'34"	50.52	S 84°42'07"E
58	44.00	15.83	21°41'58"	15.55	N 60°08'06"W
59	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
60	41.00	13.06	16°11'37"	13.01	N 61°04'36"W
61	44.00	11.56	15°56'00"	11.21	S 44°50'43"W
62	15.00	23.56	80°00'00"	21.21	S 45°09'17"E
63	41.00	27.80	110°11'30"	20.59	N 64°18'54"E
64	44.00	38.67	50°21'38"	37.44	S 84°42'07"E
65	44.00	41.75	74°45'31"	37.06	S 24°45'16"E
66	44.00	49.40	49°40'07"	37.06	S 24°45'16"E
67	44.00	51.81	70°04'34"	50.52	S 84°42'07"E
68	44.00	15.83	21°41'58"	15.55	N 60°08'06"W

STATEMENT OF OWNERSHIP, SUBDIVISION AND DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: That the undersigned, being the owners and proprietors of the following described land, to-wit: A tract of land situate in the Southwest 1/4 of Section 33, Township 7 North, Range 69 West of the Sixth P.M., City of Fort Collins, County of Larimer, State of Colorado, being more particularly described as follows: considering the North line of the Southeast 1/4 of said Section 33 as bearing N89°58'12"W and with all bearings contained herein relative thereto, is contained within the boundary lines which begin at a point which bears N89°58'12"W 2656.37 feet, and again S00°45'25"W 522.51 feet from the East 1/4 Corner of said Section 33, and run thence along the East line of said Southwest 1/4, S00°45'25"W 2128.05 feet to the South 1/4 Corner of said Section 33; thence along the South line of said Southwest 1/4, N89°40'39"W 607.46 feet; thence N00°11'08"E 1319.89 feet; thence N00°09'17"W 1247.12 feet to a point on the Southerly line of County Road 38-E; thence along said Southerly line, N85°00'00"E 273.73 feet; thence S00°00'00"E 466.41 feet; thence N90°00'00"E 361.97 feet to the point of beginning, containing 33.0515 acres, more or less. The undersigned have caused the above described land to be surveyed and subdivided into lots, tracts and streets as shown on this plat to be known as A Plat of FOX HILLS SECOND FILING, subject to all easements and rights-of-way now of record or existing on this plat. The undersigned does hereby dedicate and convey to and for public use, forever, the streets and easements as are laid out and designated on this plat, provided, however, that: 1) acceptance by the City of this dedication of easements does not impose upon the City a duty to maintain the easements so dedicated; and 2) acceptance by the City of this dedication of streets does not impose upon the City a duty to maintain the streets so dedicated until such time as the streets are inspected and accepted by the City Engineer. All maintenance of the above described streets shall be performed by the undersigned (and his/her successors in interest) until such time as the City expressly assumes, in writing, the duty of such maintenance.

Witness my hands and seals this 23rd day of May, A.D., 1996.

SPRINGFIELD SUBDIVISION 6TH FILING JOINT VENTURE

Donald L. Hahn
DONALD L. HAHN, Managing Partner

State of Colorado } S.S.
County of Larimer }
The foregoing dedication was acknowledged before me this 23rd day of May, A.D., 1996, by Donald L. Hahn, as Managing Partner of Springfield Subdivision 6th Filing Joint Venture.

My notarial commission expires _____ NOTARY PUBLIC _____

NOTES:
Please refer to the grading, drainage and erosion control plan on sheets 5 and 6 of the Fox Hills P.U.D. Second Filing utility plans regarding grading and slope stability on lots in this P.U.D.
The City of Fort Collins will perform minimal maintenance on Tracts H and I.

According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

ATTORNEY'S CERTIFICATE:

This is to certify that on the 23rd day of May, A.D., 1996, I examined the title to the property as described hereon and established that the owners and proprietors of record of the said property as construed in C.R.S. 1973, 31-23-111, are as shown hereon as of said date.

ATTORNEY Don Wilk Registration No. #0495

SURVEYOR'S CERTIFICATE:

I, Richard A. Rutherford, a duly registered Professional Engineer and Land Surveyor in the State of Colorado, do hereby certify that this plat of FOX HILLS SECOND FILING truly and correctly represents the results of a survey made by me or under my direct supervision.

Richard A. Rutherford
RICHARD A. RUTHERFORD
Colorado registered P.E. & L.S. No. 5028



APPROVED AS TO FORM:

By the Director of Engineering of the City of Fort Collins, Colorado this 17th day of June, A.D., 1996.

Michael R. Herzig
DIRECTOR OF ENGINEERING

APPROVED:

By the Planning and Zoning Board of the City of Fort Collins, Colorado this 28th day of March, A.D., 1994.

Robert Blanchard
SECRETARY OF THE PLANNING AND ZONING BOARD



VICINITY MAP

