

PLOT PLAN

LOT 13, THE GREENS OF COLLINDALE P.U.D. FIRST REPLAT
PRIVATE DRIVE, FT. COLLINS, COLORADO

(XXXX.XX) = LOT CORNER ELEVATION PER GRADING PLAN

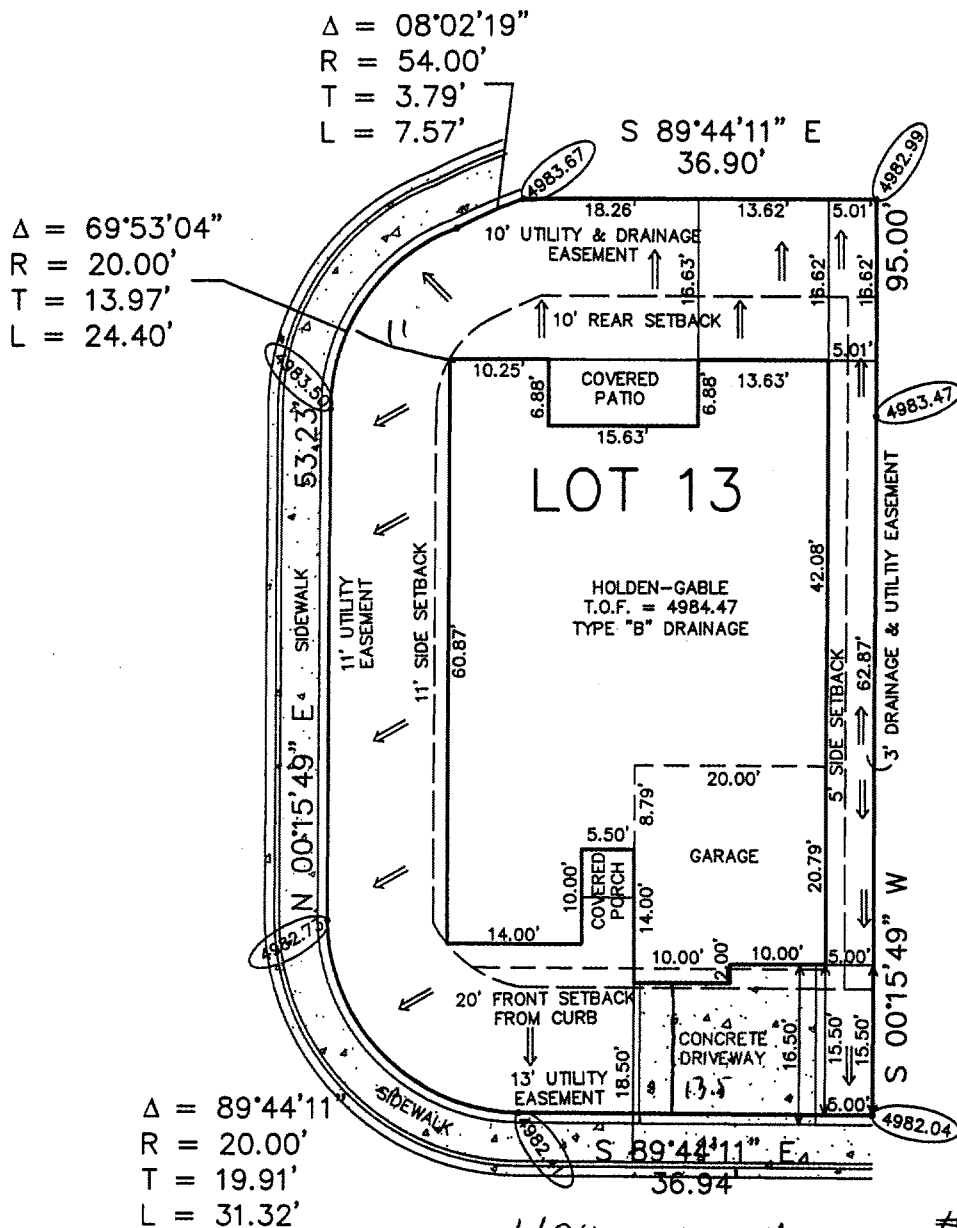
xxx.xx x = EXTERIOR GRADE ELEVATION PER GRADING PLAN

T.O.F. = PROPOSED TOP OF FOUNDATION ELEVATION

NOTE: FINISHED GRADE AT FOUNDATION SHALL BE 8" LOWER THAN T.O.F.



LOT 13
5,204 SQ. FT.



4014 S. Lemay #13

revised site plan
1-4-05

30404947

NOTES:

1. THIS PLOT PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER/CONTRACTOR. THE OWNER/CONTRACTOR SHALL VERIFY ALL LOT DIMENSIONS, SETBACK INFORMATION, EASEMENT WIDTHS, GRADING ELEVATIONS AND THE PROXIMITY TO EXISTING STRUCTURES WITH THE GOVERNING AUTHORITY AND OR COVENANTS.
2. DIMENSIONS SHOWN AROUND THE PERIMETER OF THE STRUCTURE ARE TO EXTERIOR FOUNDATION CORNERS.
3. THE CONTRACTOR SHALL VERIFY ELEVATIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY VARIATION TO THIS PLAN SHALL BE REPORTED TO LANDMARK ENGINEERING LTD. IMMEDIATELY.
4. THE CONTRACTOR SHALL NOT ENCROACH ON ADJACENT PROPERTY WITHOUT PERMISSION FROM THE AFFECTED PROPERTY OWNERS.
5. PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL FOUNDATION WALLS: A MINIMUM SLOPE OF 5% IS REQUIRED FOR THE FIRST 10 FEET AND THEN A MINIMUM SLOPE OF 2% IS REQUIRED THEREAFTER.

REVISED: 1/03/05
REVISED: 11/17/04

Landmark ENGINEERING Ltd
ENGINEERS/ARCHITECTS/PLANNERS/SURVEYORS
3521 West Eisenhower Blvd., Loveland, Colorado 80537
(970) 667-8286 Denver (303) 629-7124 Fax (970) 667-6298

TITLE: PLOT PLAN, L13, THE GREENS AT COLLINDALE	
CLIENT: ACE QUALITY HOMES	ACEQUA-4E9J-03-623
SCALE: 1" = 20'	DATE: JUNE 8, 2004