

PLOT PLAN FOR

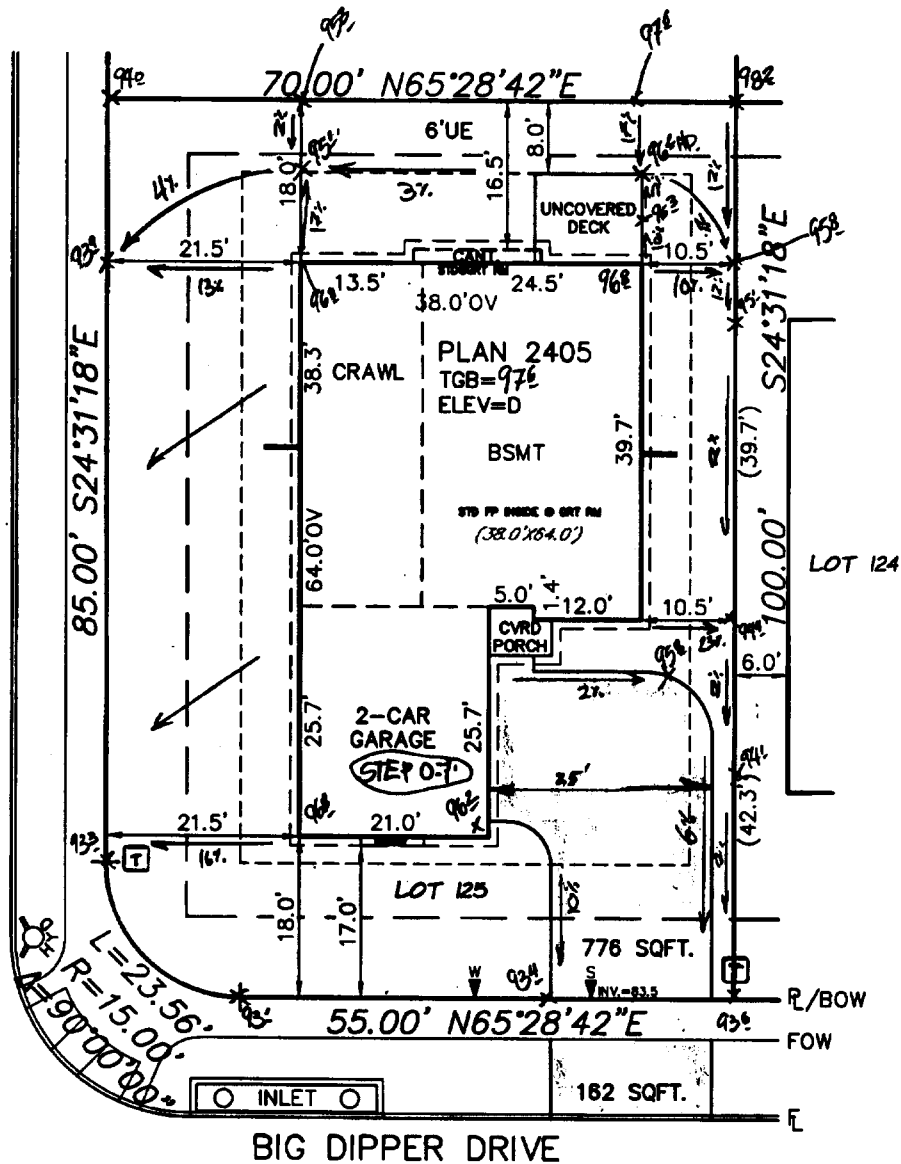


LOT 125, SUBDIVISION WILLOW BROOK,
CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
ADDRESS 3727 BIG DIPPER DRIVE

-CARROLL & LANGE RECOMMENDS A LOT INVENTORY BEFORE STAKING HOUSE.-



CINQUEFOIL LANE



GENERAL NOTES

1. THIS PLOT PLAN DOES NOT SHOW LOCATION OF WINDOW WELLS. FOR THEIR LOCATION SEE STRUCTURAL ENGINEERED PLANS.
2. THIS PLOT PLAN IS BASED ON INFORMATION PROVIDED TO CARROLL & LANGE BY THE BUILDER / DEVELOPER.
3. DIMENSIONS SHOWN AROUND THE PERIMETER OF THE STRUCTURE ARE TO THE EXTERIOR FOUNDATION CORNERS.
4. PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL FOUNDATION WALLS PER WARRANTY REQUIREMENTS. (0.5% MINIMUM SLOPE FOR CONCRETE PANS.)
5. THIS PLOT PLAN SHOWS PROPOSED IMPROVEMENTS ONLY. FINAL CONSTRUCTION MAY VARY.
6. FOR QUESTIONS REGARDING THE FOUNDATION DURING EXCAVATION, FORM SETTING, AND HOUSE CONSTRUCTION REFER TO THE ENGINEERED FOUNDATION PLANS.
7. BEFORE STAKING, THE BUILDER SHOULD VERIFY ALL HOUSE PLAN NUMBERS, DIMENSIONS, ELEVATIONS, AND SETBACKS TO THE PLOT PLAN. IF ANY DISCREPANCY EXISTS PLEASE CONTACT APPROPRIATE PERSON.
8. DRIVEWAY SQUARE FOOTAGE CALCULATION IS BASED ON FOLLOWING ASSUMPTIONS: -WIDTH=18', LENGTH=FACE OF GARAGE TO BACK OF WALK -AREA IN RIGHT OF WAY IS QUANTIFIED SEPARATELY. THIS IS A BASIC CALCULATION AND IS NOT AN ESTIMATE OF EXACT QUANTITIES REQUIRED.

B0407305

No OVEREX

PLOT PLAN CHECKED	<i>PL 10-27-04</i>
OVER EX. CHECKED	INT. DATE
DO NOT STAKE CHD.	INT. DATE
R.O.M. IF APPLICABLE	INT. DATE

LEVEL NOTES:

BOW	+	
HI	-	TGB ELEV. _____
HUB ELEV	+	HUB ELEV. _____
HI	-	FILL = _____

CHECK IN	/
HSE STK	: BY _____ DATE _____
HSE RESTK	: BY _____ DATE _____
FDN	: BY _____ DATE _____
ISP/GRD	: BY _____ DATE _____
HBW/GRD	: BY _____ DATE _____
REGRD	: BY _____ DATE _____
REGRD	: BY _____ DATE _____

NOTES OF CONCERN:

DO NOT STAKE !!!
PLEASE DELIVER REQUIRED STRUCTURAL PLANS TO C&L 48 HOURS BEFORE ORDERING A HOUSE STAKE A HOUSE WILL BE STAKED 48 HOURS AFTER RECEIVING REQUIRED STRUCTURAL PLANS.

- LOCATE WATER METER PIT, LIGHT POLE OR ANYTHING ELSE THAT MAY AFFECT THE DRIVEWAY LOCATION AND CALL OFFICE.
- HOUSE HANDING OKAY PER MARK McCALLUM, 11/22/04.
- LOT NOT SUBEXCAVATED

LEGEND:

- P=PROPERTY LINE
- BOW=BACK OF WALK
- FOW=FRONT OF WALK
- E=FLOW LINE
- EASEMENT
- SETBACK



Carroll & Lange
Professional Engineers & Land Surveyors
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Lakewood, Colorado 80228
(303) 980-0200

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
OR 534-6700 IN METRO DENVER
CALL 3-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES

MINIMUM SETBACKS:
FRONT: 15'
REAR: 8'
SIDE: 5' ST. SIDE: 15'
MIN. BETWEEN STRUCTURES: 10'

SCALE: 1"=20'
DATE: 10/27/04 JJB
REV: _____
REV: _____
JOB NO: 2686

Sq new 12.20.04