

PLOT PLAN FOR



LOT 286, SUBDIVISION WILLOW BROOK,
 CITY OF FORT COLLINS, COUNTY OF LARIMER, STATE OF COLORADO
 ADDRESS 5357 NORTHERN LIGHTS DRIVE

-CARROLL & LANGE RECOMMENDS A LOT INVENTORY BEFORE STAKING HOUSE.-

B0406026

LOT 287

LOT 285



LEVEL NOTES:

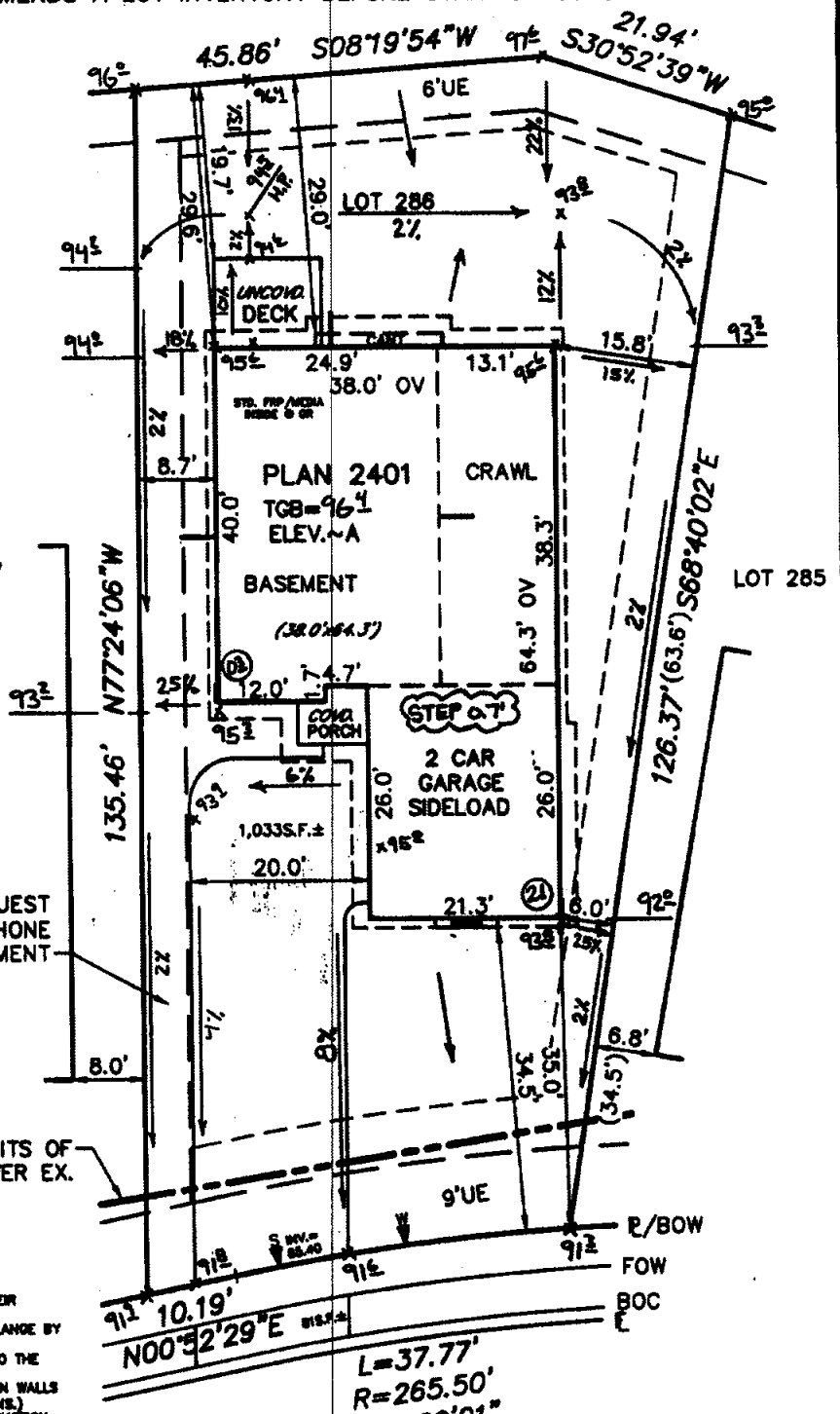
BOW	+	
H	-	TDB ELEV
HUB ELEV	+	HUB ELEV
H	-	FLL

CHECK IN

HSE STK	BY	DATE
HSE RESTK	BY	DATE
FDN	BY	DATE
ISP/ORD	BY	DATE
HSE/GRD	BY	DATE
REGRD	BY	DATE
REGRD	BY	DATE

5' QUEST TELEPHONE EASEMENT

LIMITS OF OVER EX.



- GENERAL NOTES**
- THIS PLOT PLAN DOES NOT SHOW LOCATION OF WINDOW WELLS. FOR THEIR LOCATION SEE STRUCTURAL ENGINEERED PLANS.
 - THIS PLOT PLAN IS BASED ON INFORMATION PROVIDED TO CARROLL & LANGE BY THE BUILDER / DEVELOPER.
 - DIMENSIONS SHOWN AROUND THE PERIMETER OF THE STRUCTURE ARE TO THE EXTERIOR FOUNDATION CORNERS.
 - PROVIDE AND MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL FOUNDATION WALLS PER WARRANTY REQUIREMENTS. (0.5% MINIMUM SLOPE FOR CONCRETE PANELS.)
 - THIS PLOT PLAN SHOWS PROPOSED IMPROVEMENTS ONLY. FINAL CONSTRUCTION MAY VARY.
 - FOR QUESTIONS REGARDING THE FOUNDATION DURING EXCAVATION, FORM SETTING, AND HOUSE CONSTRUCTION REFER TO THE ENGINEERED FOUNDATION PLANS.
 - BEFORE STAKING, THE BUILDER SHOULD VERIFY ALL HOUSE PLAN NUMBERS, DIMENSIONS, ELEVATIONS, AND SETBACKS TO THE PLOT PLAN. IF ANY DISCREPANCY EXISTS PLEASE CONTACT APPROPRIATE PERSON.
 - DRIVEWAY SQUARE FOOTAGE CALCULATION IS BASED ON FOLLOWING ASSUMPTIONS: -WIDTH- LENGTH=FACE OF GARAGE TO BACK OF WALK. -AREA IN RIGHT OF WAY IS QUANTIFIED SEPARATELY. THIS IS A BASIC CALCULATION AND IS NOT AN ESTIMATE OF EXACT QUANTITIES REQUIRED.

NORTHERN LIGHTS DRIVE

PLOT PLAN CHECKED	INT.	DATE
OVER EX. CHECKED	INT.	DATE
DO NOT STAKE CHD.	INT.	DATE
R.O.M. IF APPLICABLE	INT.	DATE

NOTES OF CONCERN: **NOTE: 20' WIDE DRWY**

• LOCATE WATER METER PIT, LIGHT POLE OR ANYTHING ELSE THAT MAY AFFECT THE DRIVEWAY LOCATION AND CALL OFFICE.

LEGEND:
 P=PROPERTY LINE
 BOW=BACK OF WALK
 FOW=FRONT OF WALK
 E=FLOW LINE
 --- EASEMENT
 - - - SETBACK



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 (303) 980-0200

CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
 1-800-922-1987
 OR 534-6700 IN METRO DENVER
CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, DRILL, OR EXCAVATE FOR THE SAFETY OF YOURSELF AND OTHERS

MINIMUM SETBACKS:
 FRONT: 15'
 REAR: 8'
 SIDE: 5' ST. SIDE: 15'
 MIN. BETWEEN STRUCTURES: 10'

SCALE: 1"=20'
 DATE: 8-31-04 R.M.
 REV: _____
 REV: _____
 JOB NO: 2686