



Administrative Services

Purchasing Division

**CITY OF FORT COLLINS
BID #5684
TRAFFIC OPERATIONS FACILITY
ADDENDUM No. 2**

SPECIFICATIONS AND CONTRACT DOCUMENTS

Description of Bid Package: Bid No. 5684, Traffic Operations Facility

OPENING DATE: 3:00 p.m. (our clock) March 22, 2002

To all prospective bidders under the specifications and contract documents described above, the following changes are made:

A. DRAWINGS:

1. SHEET A1.1, Main Floor Plan:

a.) Add base and upper cabinets to north wall of Work Area 111. Raise all electrical outlets to above counter height. Refer to details on attached sheet AD-1.

b.) Provide 24" wide x 48" high FRP panels, at south and west walls, above mop basin, in southwest corner of Mechanical Room 117. Also, provide mop holder and shelf unit, model number B224 x 30, by Bobrick, or equal, above mop basin, on west wall.

c.) Delete workstation units, from North & South walls of Crew Room 128.

2. SHEET A2.1:

a.) Rename Detail 4 to read, "SCUPPER and CONDUCTOR HEAD DETAIL".

b.) At Detail 5, there should be a 2" maximum vertical dimension shown, where the roof meets the wall / scupper.

c.) At SECTION THRU LADDER, Detail 3, add blocking, in stud wall, for ladder anchoring.

3. SHEET A3.4:

a.) Add metal ceiling joists and 5/8" gypsum board lid to the top of wall at Detail 4, WALL SECTION 12. Joists to be 6" x 20 Ga. @ 16" O.C.

4. SHEET A3.5:

a.) At Detail 8, modify precast window sill shape. Refer to details on attached sheet AD-2.

b.) Add precast window sill details. Refer to attached sheets AD-3 and AD-4.

c.) Add typical wall parapet details, for clarification. Refer to attached sheets AD-5, AD-6 and AD-7.

5. SHEET A6.1:
 - a.) Modify Break Room 121 cabinets, at Detail 1. Add 20 Amp. Outlet for microwave, at proper height. Refer to attached sheet AD-8.
 - b.) Delete workstations, as shown on Details 2 and 4.
 - c.) At Detail 3, carry ceramic wall tile pattern through from Toilet Rooms, as per Detail 1/A9.1. Refer to attached sheet AD-9.
 - d.) See attached sheet AD-10 for dimensioned and noted Plan of Reception Desk.
6. SHEET A8.1:
 - a.) Modify Detail 6, ENTRY COLUMN DETAILS. Refer to attached sheet AD-11.
 - b.) Make minor modifications to Detail 7, ENTRY CANOPY DETAIL. Refer to attached sheet AD-12.
7. SHEET S2.2:
 - a.) Change Detail 9/S2.2 as shown on attached sheet AD-13.
8. SHEET C5:
 - a.) Modify this sheet with the Change shown on attached sheet CD-1.

B. SPECIFICATIONS:

1. SECTION 01210 – ALLOWANCES:
 - a.) Article 1.07 A., delete this allowance.
2. SECTION 09680 – CARPET:
 - a.) Article 1.01 B, delete this article. Carpet will be specified.
 - b.) Article 2.01 A, Change as follows: ACCEPTABLE MANUFACTURER: “Bentley Mills, Inc.” – Pattern to be Continuity, Continuum or Mercator, 26 oz. nylon, minimum face yarn weight.

To all prospective bidders under the specifications and contract documents described above, the following are answers to questions submitted:

1. Question: Please confirm that the rough grading and asphalt paving at Linden Street and the Private Access Drive are being provided by the Owner per General Notes 1 and 2 on AS.1.

Answer: Yes they are.

2. Question: Is the owner also performing the asphalt demo, pavement sub-grade, and pavement markings at Linden Street and the Private Access Drive?

Answer: Yes.

3. General Note I / AS.1 states that all rough site grading shall be performed by the owner.
a. Question: What grade does the owner intend to furnish? Within 0.1' of the landscape, site pavement sub-grade, or building foundation sub-grade?

Answer: Yes, within 0.1'.

b. Question: Is the owner providing the surveying and grade stakes to accomplish the rough grading?

Answer: Yes.

4. Question: Since the owner is doing the rough grading and asphalt paving work at the new parking lot per General Notes I and 2 / AS.1, is the owner also performing the 2' over-excavation, sub-grade scarification, existing fill cleaning or import fill, reinstallation, and compaction?

Answer: Yes, for the paving areas and the gravel storage lot.

5. Question: Please confirm that the General Contractor is only responsible for the "building permit" and "plan review" fee portions of the building permit. That is, confirm that all development fees, street oversize fees, etc. are being paid by the owner.

Answer: Yes, the GC is responsible for the Building Permit and Plan Check fees and the Owner is responsible for Development Fees, Street Oversize Fees, etc.

6. Question: Please confirm that Curb & Gutter concrete, Sidewalk Concrete Mixes are to have Fibrous Reinforcing.

Answer: Yes they are.

7. Question: Please confirm that all exterior Sidewalks are to receive Welded Wire Fabric.

Answer: Yes they are.

8. Question: Please clarify the "continuous fabric covered strip" in 5/A6.1.

Answer: The strip should have been labeled "continuous fabric covered tackboard strip".

9. Question: Please confirm that the trash enclosure gate is a custom steel gate per AS.2, not a hollow metal gate per 08110-1.01A7.

Answer: The trash enclosure gate is a custom steel gate, not hollow metal.

10. Question: Please clarify the construction of the "painted steel gate" in 3/AS.2. Requirements not indicated in detail or 05500.

Answer: The construction is clarified by attached sheet AD-14.

11. Question: Please confirm that any adjustments in equipment sizing and electrical requirements per Note B/M1.0 will be handled by a proposal request/change order.

Answer: Yes, if there is a change it will be addressed through the proposal request/change order process.

12. Question: Please clarify if the owner will provide the licensed professional engineer soils / pavement design reports required by Note 33 / C2.

Answer: Yes, the Owner will provide.

13. Question: Please clarify if the owner will provide the Colorado licensed engineer stamped paving section design required to be submitted by Note 2/C3.

Answer: Yes, the Owner will provide.

14. Question: Please confirm that if a complete street overlay is required per Note 6/C3, the cost will be addressed by a proposal request / change order.

Answer: If required, the Owner will accomplish.

15. Question: Please confirm that if additional striping or signage is required by Note 14/C3, the cost will be addressed by a proposal request/ change order.

Answer: Only if there is additional signage, will it be addressed through the proposal request/change order process, since the Owner is doing the striping.

16. Question: Please clarify if the owner will provide the registered engineer certification of drainage facilities required by Note 3/C3.

Answer: Yes, the Owner will provide.

17. Question: Please clarify whether the "sidewalk to be constructed upon approval by C&S Railroad" is part of this contract.

Answer: It is not.

18. Question: Please confirm that the owner will be solely responsible for the 50' x 20' construction easement and pavement utility easement on the south side of the project. The plan note /C6 also mentions the "contractor".

Answer: The Owner will secure this easement.

19. Question: Please clarify whether the existing Excel gas line will require relocation by the installation of the new 15" PVC storm line per C9, and if so, whether this cost is to be included in the base bid. Since Excel will not allow contractors to relocate their gas line and this cost is therefore outside of the contractor's control, can the cost be handled

either directly by the owner or by change order?

Answer: The gas line will not have to be relocated.

20. Question: Please clarify whether the 3 existing evergreen trees / L1 must be salvaged, or if they may be demo'd.

Answer: The Owner will have the trees relocated or removed.

21. Please confirm that the "sculpture", near the buildings south entrance, /L1 is being provided by the Owner.

Answer: The Owner is providing the "sculpture".

22. Question: Please clarify the requirements for the planter retaining wall /C5 to the west of the building at the intersection of the sidewalks.

Answer: This planter retaining wall has been deleted per CD-1 of this Addendum.

23. Question: Please confirm that the irrigation water meter mentioned by the General Description /11 will be provided by the owner. This meter is not shown on the plumbing or irrigation drawings.

Answer: This meter is not required.

24. Question: Please confirm that the intent of 00520-6.3 is not to put the risk of subsurface conditions not mentioned in the geotechnical report on the contractor, and that unexpected subsurface conditions will be addressed by proposal request / change order.

Answer: If there are unforeseen subsurface conditions they will be addressed through the proposal request/change order process.

25. Question: Please confirm that cost of Stabilization Material and Ground Water Barriers per spec 02221-2.1 and 0221-2.3, if required, will be covered by a proposal request / change order.

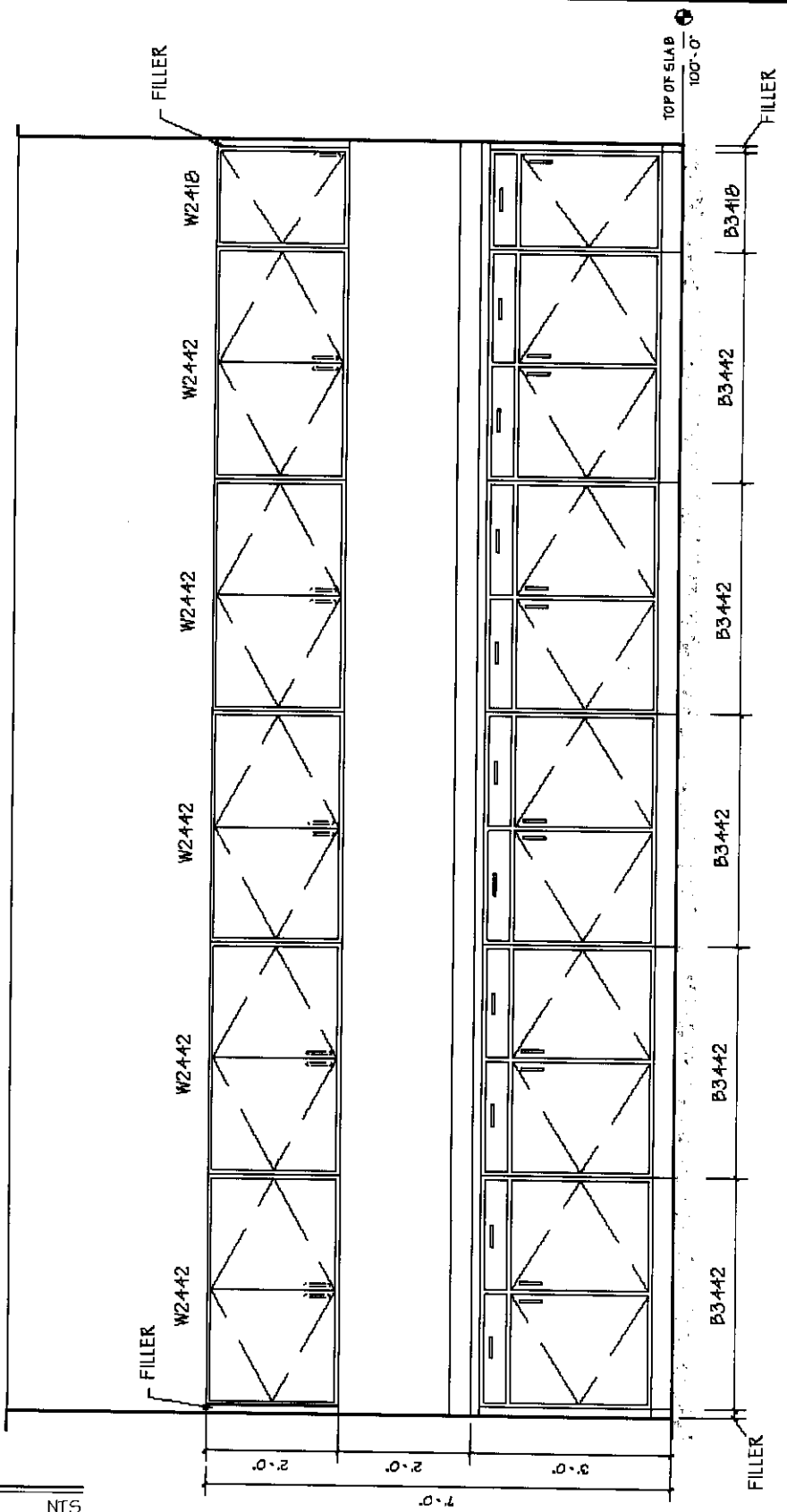
Answer: If these items are required and are outside of the scope of the Contract Documents, they will be addressed through the proposal request/change order process.

26. Question: Please confirm that the contractor is only responsible for the "building permit", "plan review fee", and "tap fee" portions of the building permit, and that any development fees, easement fees, etc. will be paid by the owner.

Answer: The Contractor is only responsible for the Building Permit and Plan Check fees. The Owner will pay for the Tap, Development, Easement, etc. fees.

If you have any questions please contact John Stephen, CPPB, Senior Buyer, at 970-221-6777.

RECEIPT OF THIS ADDENDUM MUST BE ACKNOWLEDGED BY A WRITTEN STATEMENT ENCLOSED WITH THE BID/QUOTE STATING THAT THIS ADDENDUM HAS BEEN RECEIVED



8

WORK AREA ELEV.

SCALE: NTS

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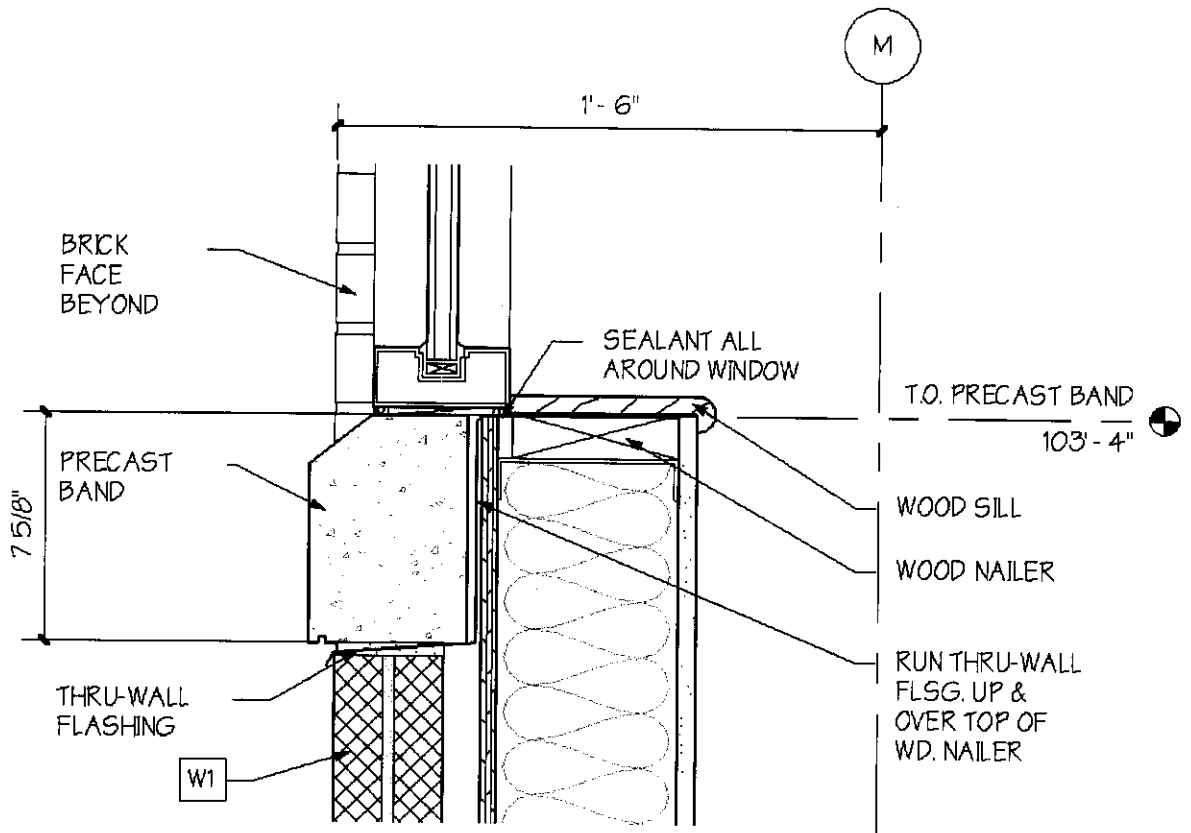
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 FACILITY**

ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	A6.1
Checked by	JR

AD-1

Scale



8 WINDOW SILL DETAIL

SCALE: NTS

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ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	A3.5
Checked by	JR

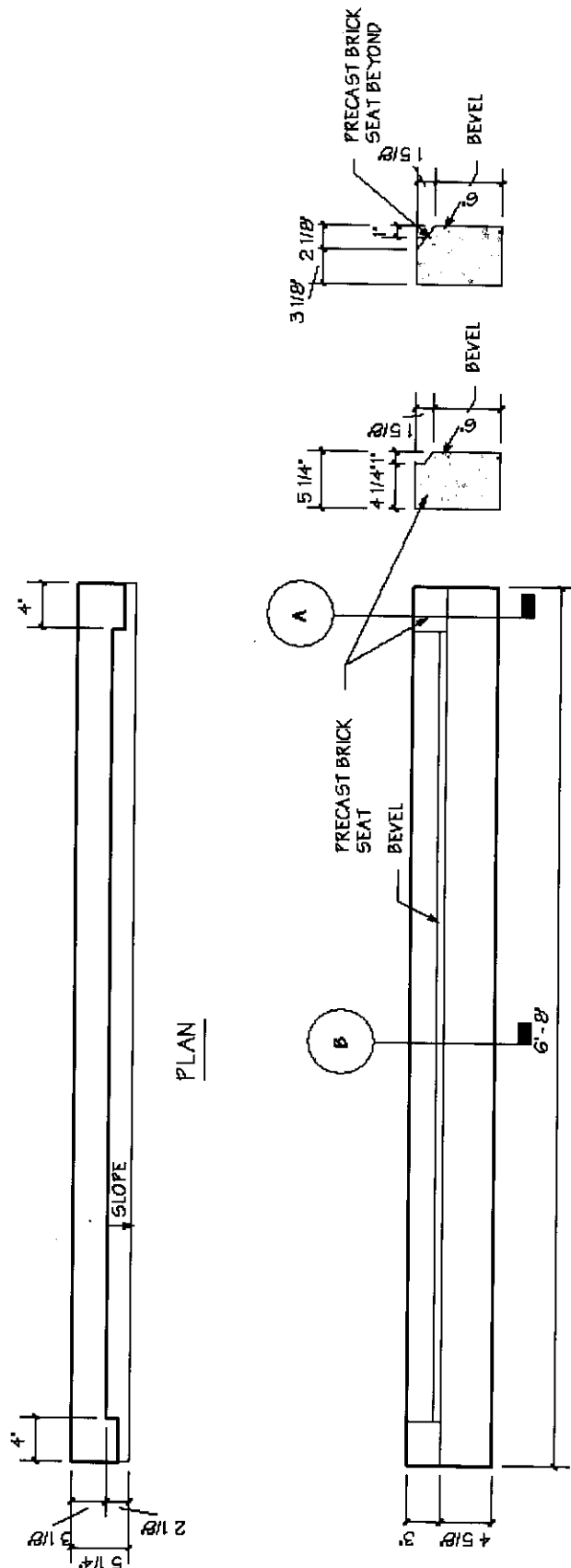
AD-2

Scale

14

PRECAST WINDOW SILL

SCALE: NTS



PLAN

ELEVATION

SECTION A

SECTION B

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Project number	2001-59
Date	03/11/02
Ref. Sheet #	A3.5
Checked by	JRI

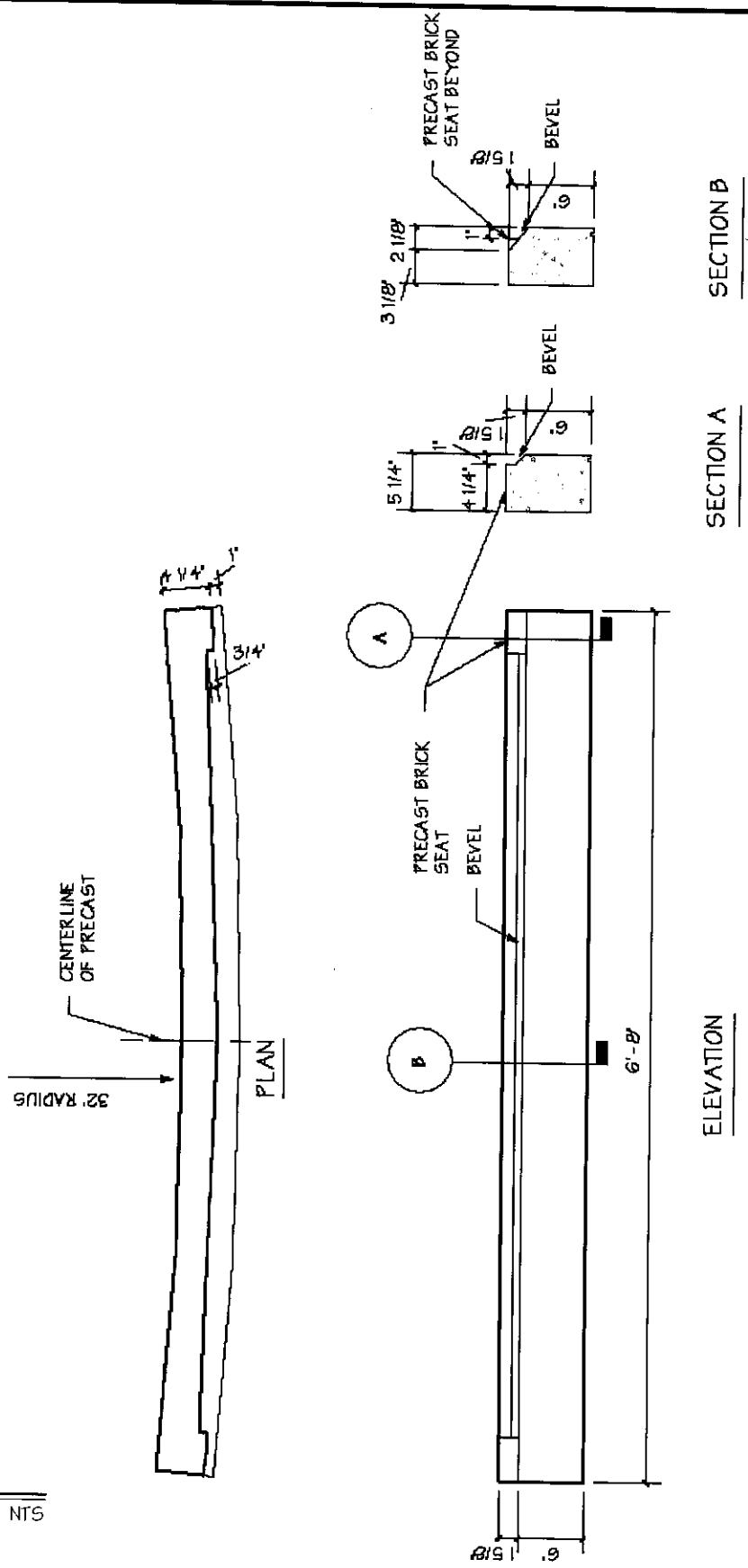
AD-3

Scale

13

PRECAST WINDOW SILL - CURVED

SCALE: NTS

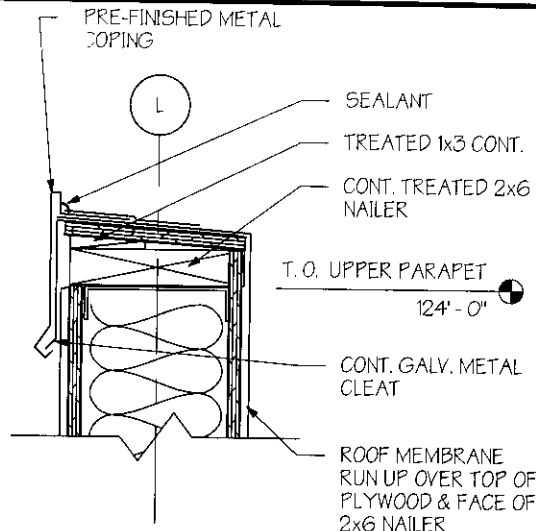


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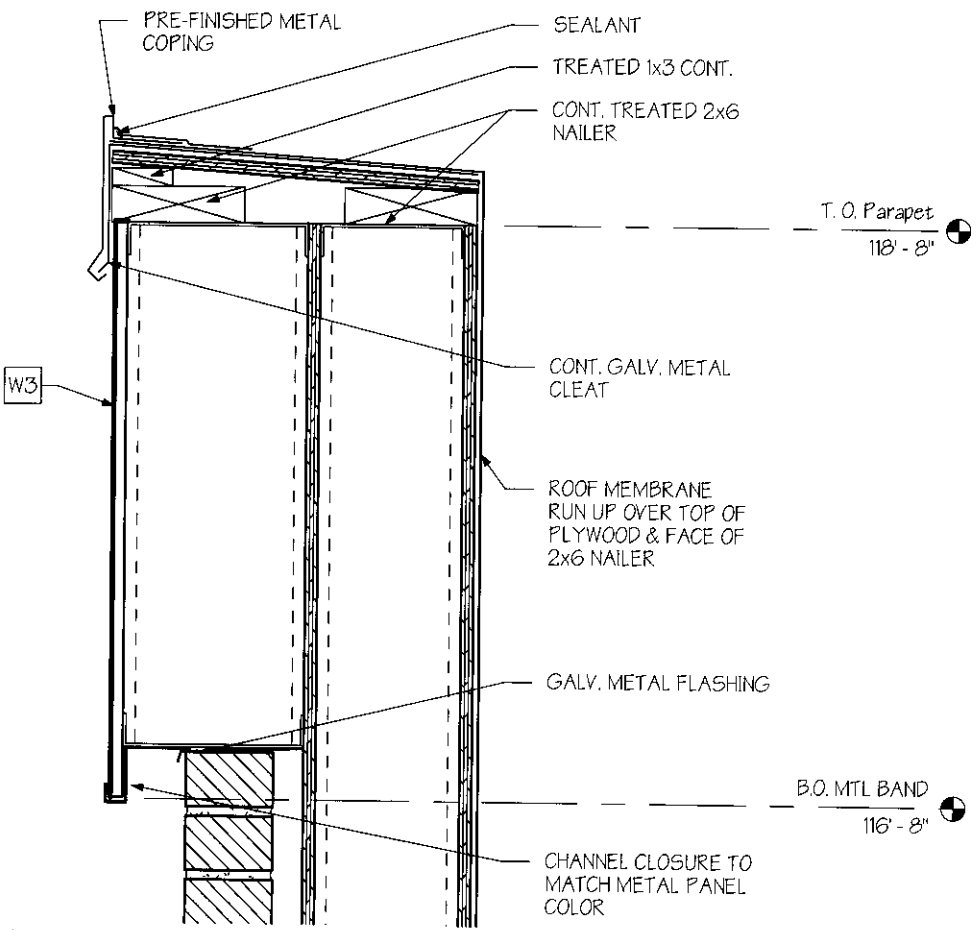
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ADDENDUM # 2		AD-4
Project number	2001-59	
Date	03/11/02	
Ref. Sheet #	A3.5	
Checked by	JR	Scale



14 PARAPET DETAIL 1
SCALE: 1 1/2" = 1'-0"

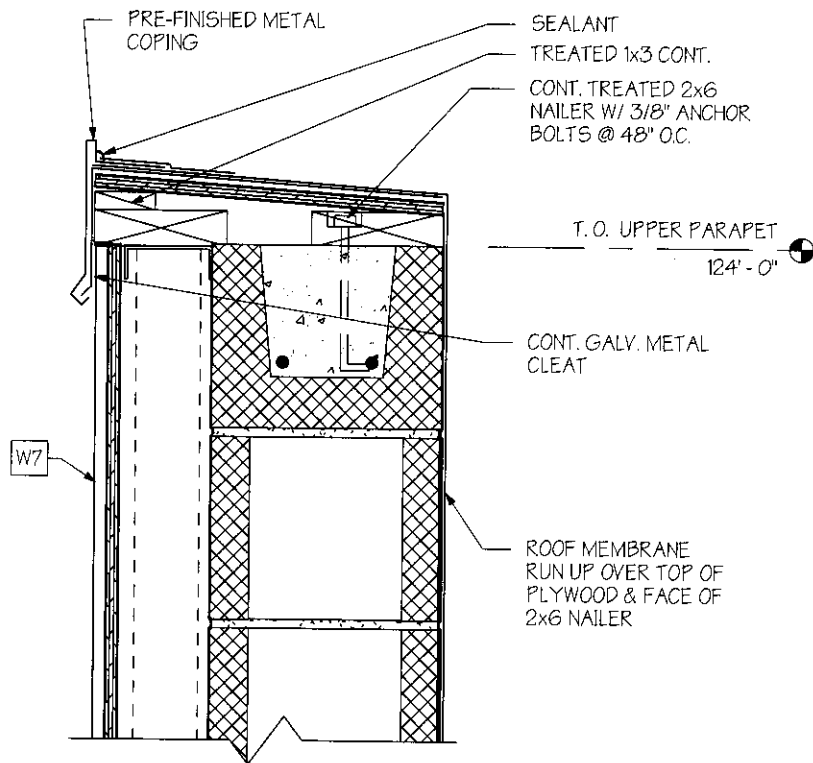


15 PARAPET DETAIL 2
SCALE: 1 1/2" = 1'-0"

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ADDENDUM # 2		AD-5
Project number	2001-59	
Date	03/11/02	
Ref. Sheet #	A3.5	
Checked by	JR	
Scale 1 1/2" = 1'-0"		



16 **PARAPET DETAIL 3**

SCALE: 1 1/2" = 1'-0"

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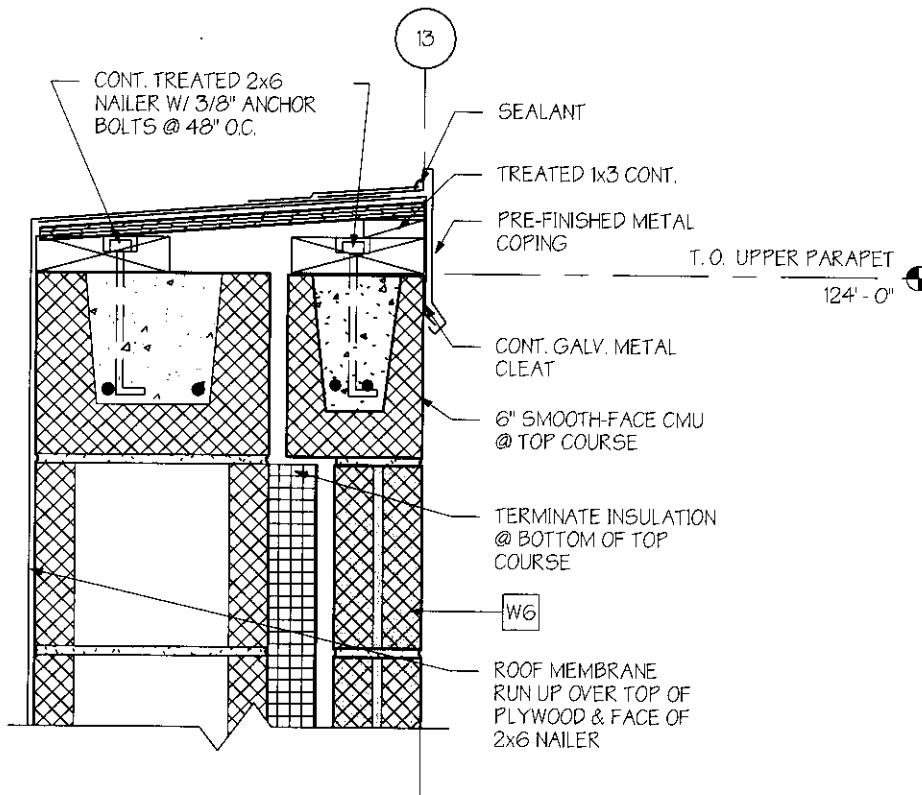
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Project number	2001-59
Date	03/11/02
Ref. Sheet #	A3.5
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AD-6

Scale 1 1/2" = 1'-0"



17 PARAPET DETAIL 4

SCALE: 1 1/2" = 1'-0"

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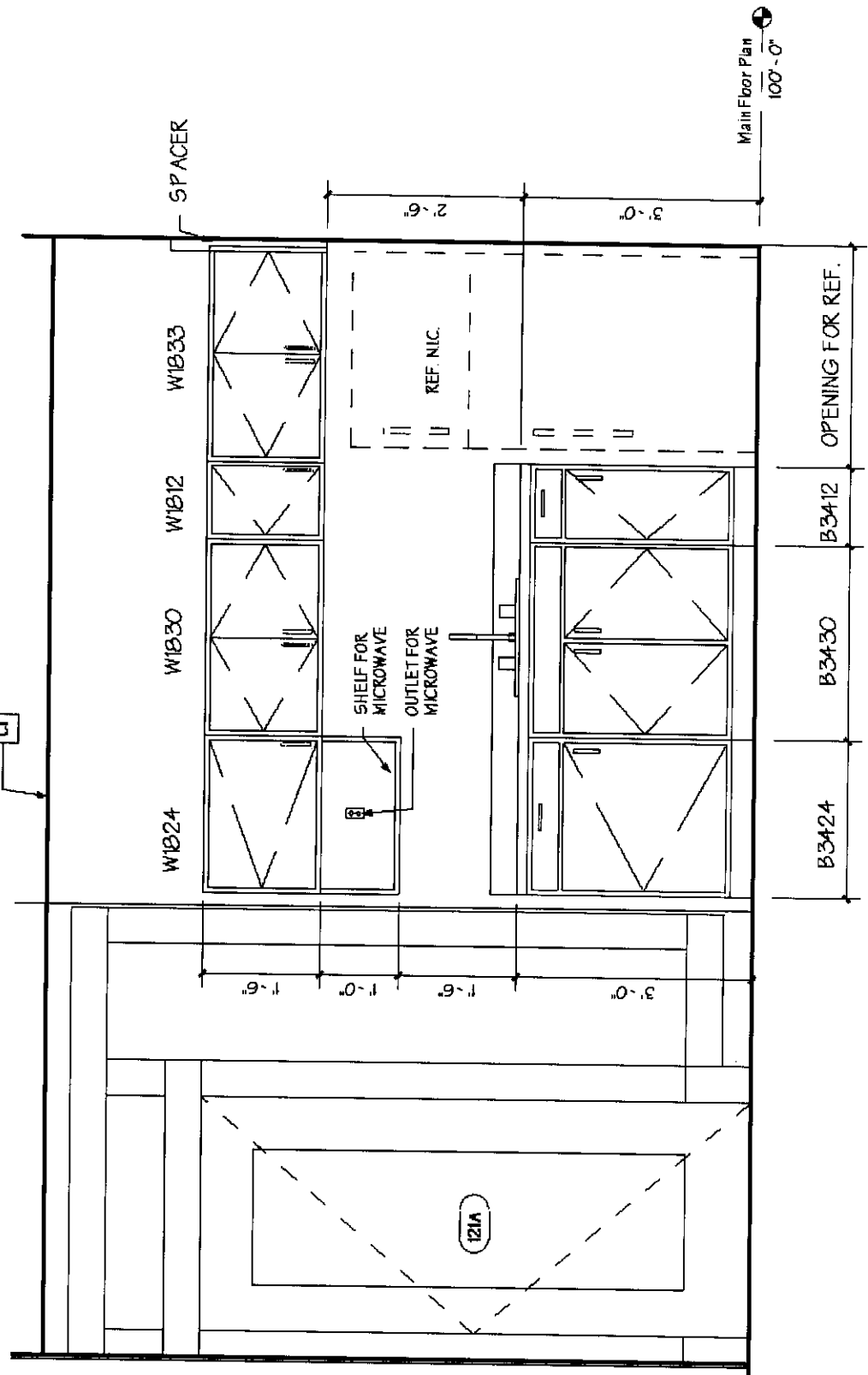
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ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	A3.5
Checked by	JR

AD-7

Scale 1 1/2" = 1'-0"



1 BREAK ROOM # 121

SCALE: NTS

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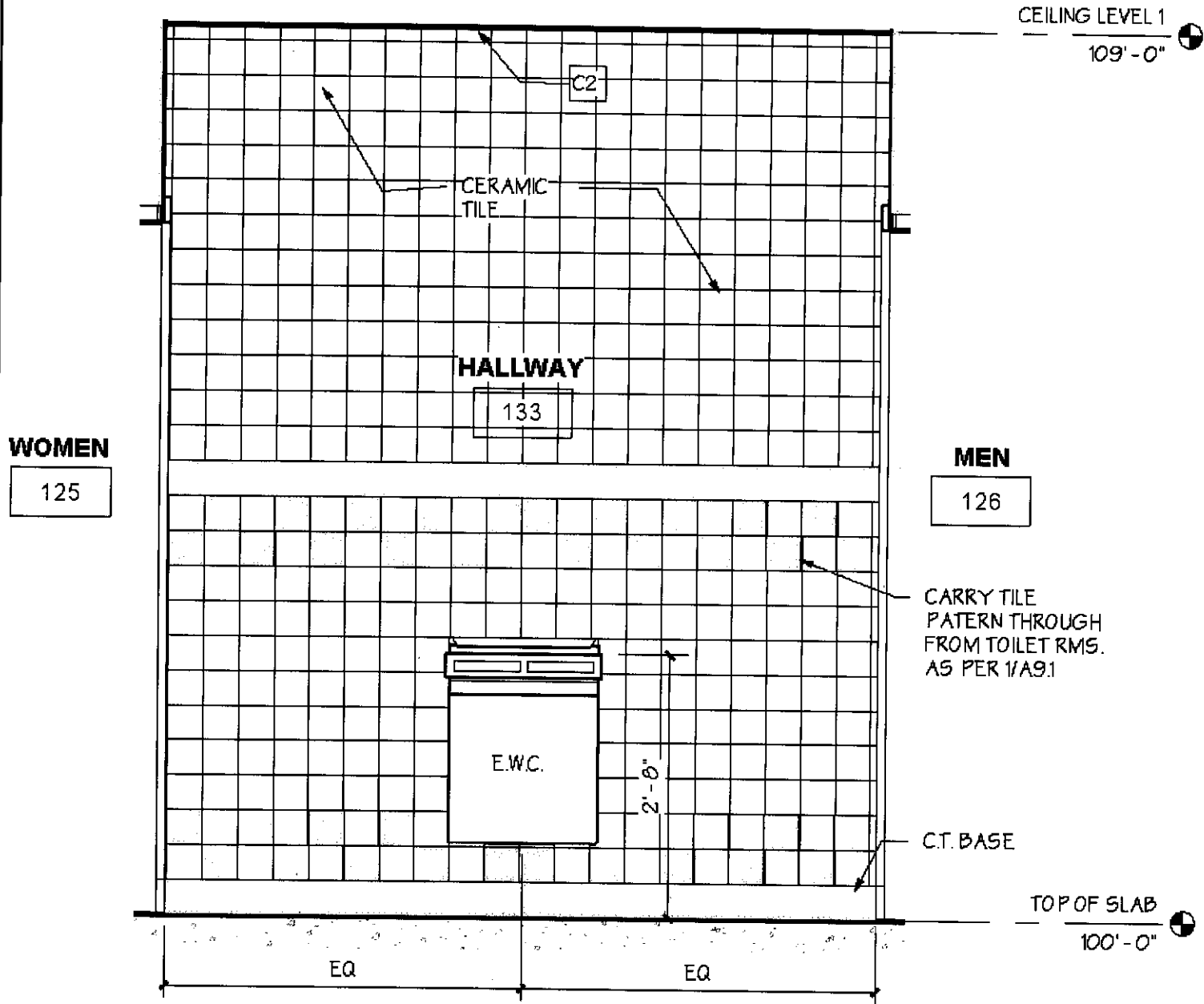
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ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	A6.1
Checked by	JRI

AD-8



RESTROOM ENTRY AREA

3

SCALE: NTS

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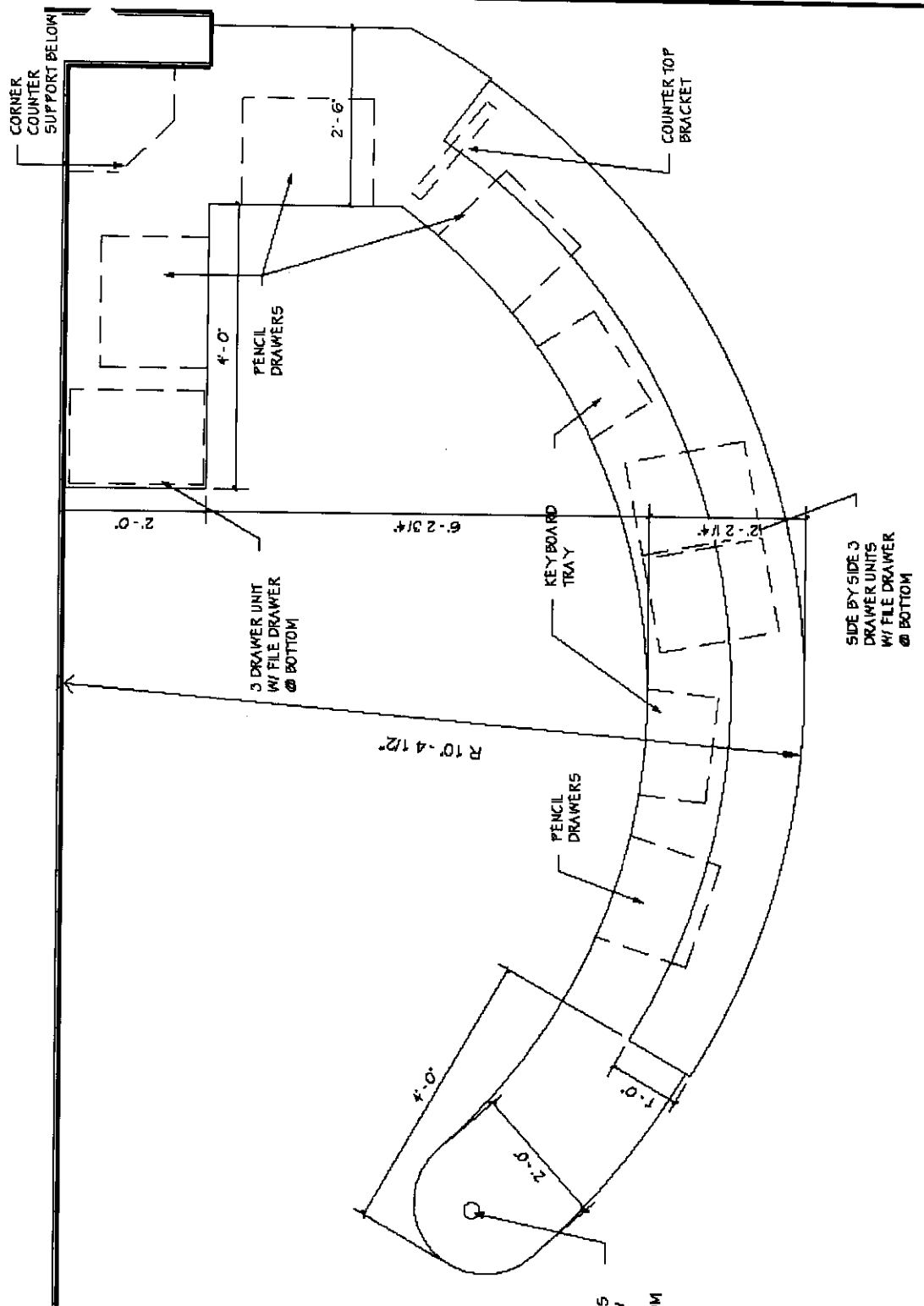
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ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	A6.1
Checked by	JR

AD-9

Scale



7

RECEPTION DESK
PLAN

SCALE: NTS

5" DIA. STAINLESS
STL POST BELOW
COUNTER W/ 10"
SQ. TOP & BOTTOM
PLATES

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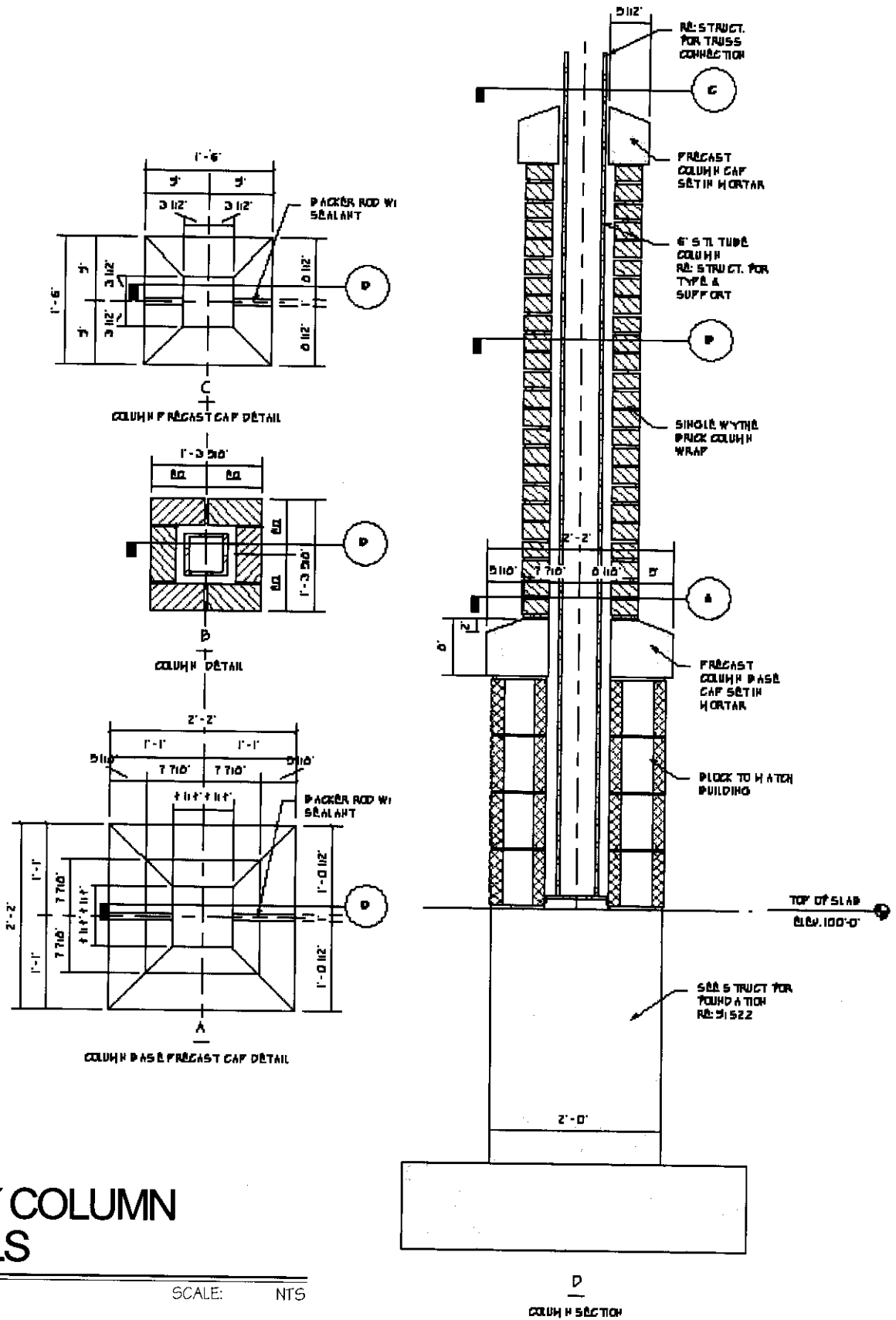
TRAFFIC
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ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	A6.1
Checked by	JR

AD-10

Scale



ENTRY COLUMN DETAILS

6

SCALE: NTS

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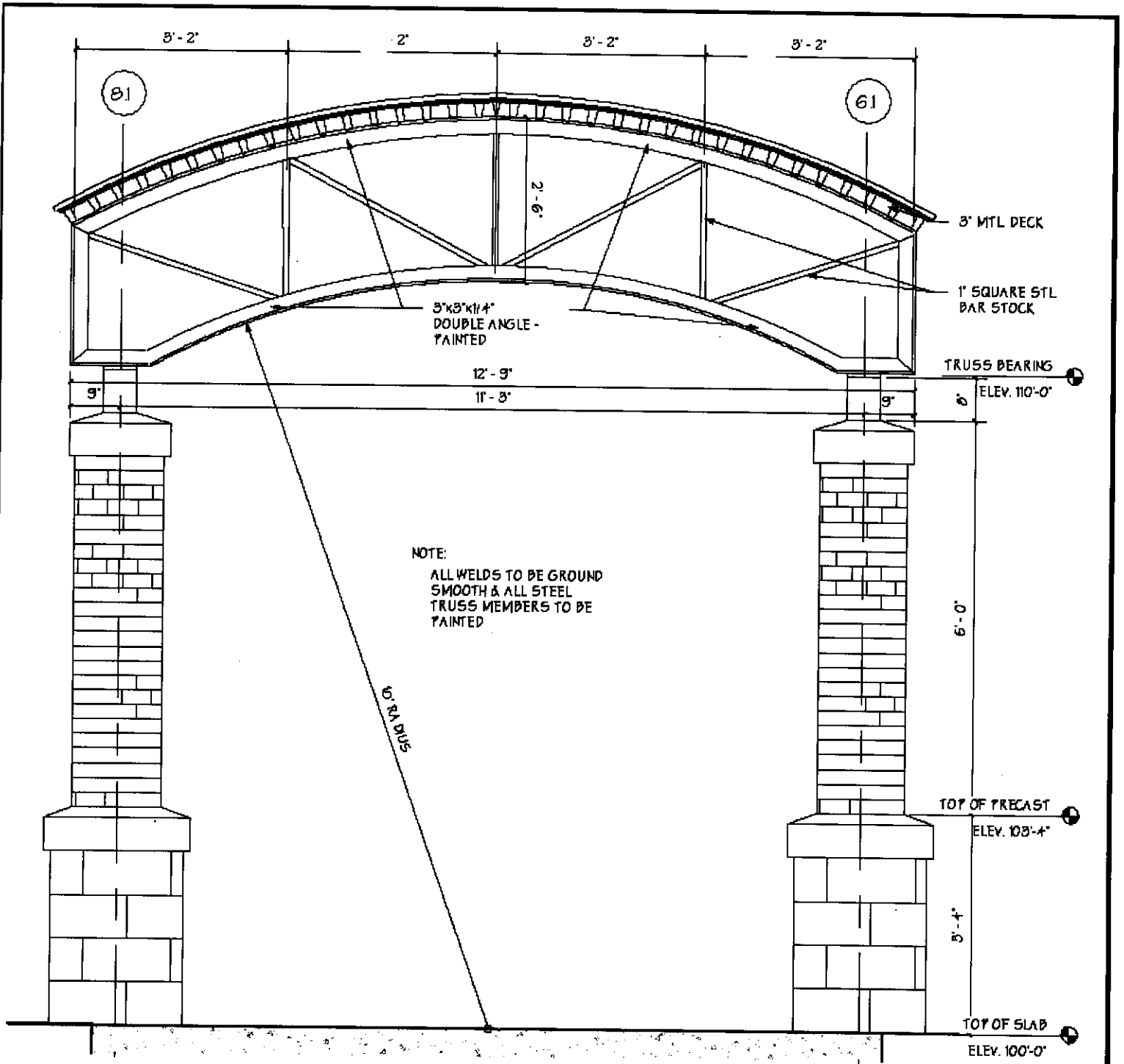
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FACILITY**

ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	A8.1
Checked by	JR

AD-11

Scale



7 ENTRY CANOPY
DETAIL

SCALE: NTS

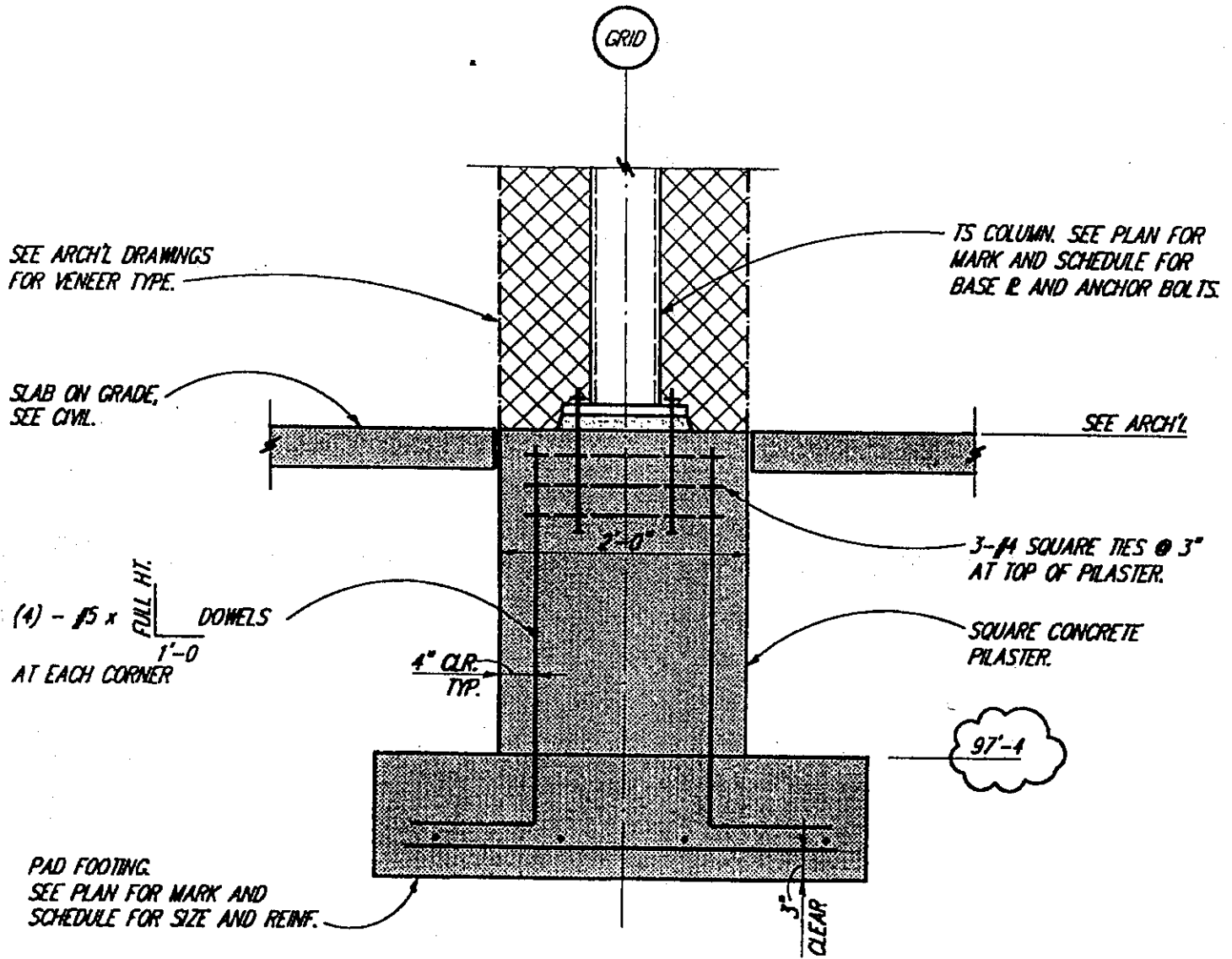
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ADDENDUM # 2		AD-12
Project number	2001-59	
Date	03/11/02	
Ref. Sheet #	A8.1	
Checked by	JR	Scale



SECTION $\frac{9}{S2.2}$ $\frac{3}{4}'' = 1'-0$

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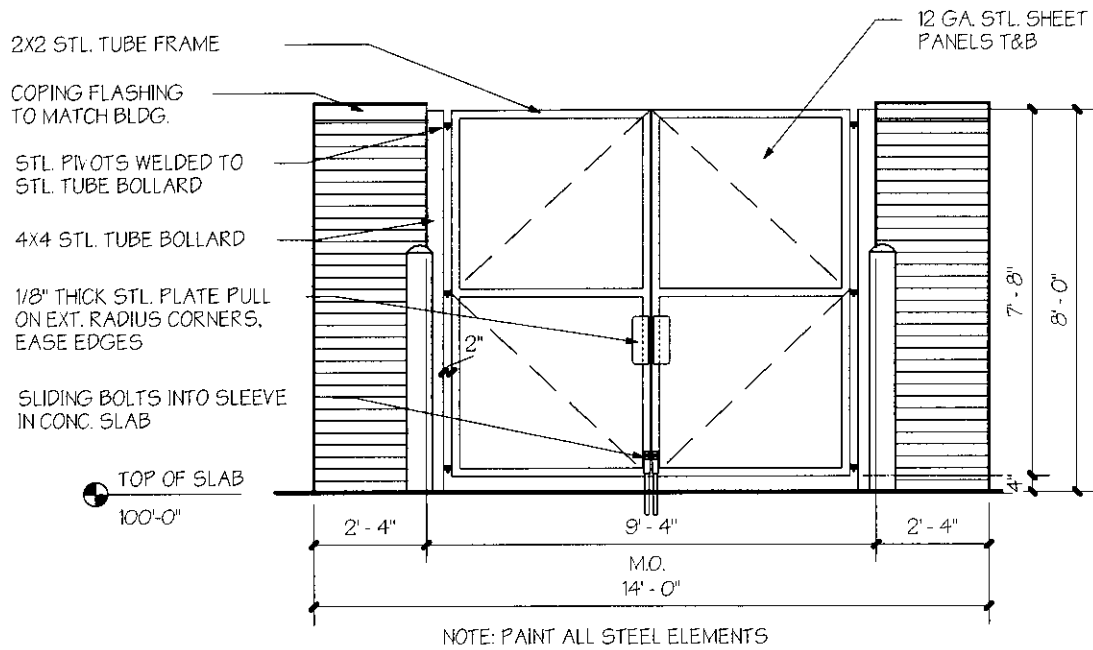
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FACILITY**

ADDENDUM # 2

Project number	2001-59
Date	03/11/02
Ref. Sheet #	S2.2
Checked by	Checker

AD-13

Scale



6

TRASH GATE DETAIL

SCALE: 1/4" = 1'-0"

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ADDENDUM #2

Project number 2001-59

Date 03/11/02

Ref. Sheet # AS.2

Checked by JR

AD-14

Scale 1/4" = 1'-0"

7. Question: What is the proposed depth of road base at the gravel storage area? Spec section 02730 refers us to the civil drawings, which don't appear to note the depth.

Answer: The Owner will be performing this work along with the asphalt paving.

8. Question: Sheet S1.1, The hatched slab calls for #3 rebar for reinforcement; is this in lieu of fiber reinforcing or inclusive of fiber reinforcing.

Answer: The #3 rebar @ 24" O.C. is in addition to the fiber reinforcing.

9. Question: Have any colors been selected for the Storefront framing systems or tinting for the glazing? If not, is there a baseline that could be used for bidding purposes?

Answer: No color has been selected for the storefront framing, and the glazing will have a bronze tint.

10. Question: Sheet A3.5, Detail 8, Should there be flashing between the window frame and the pre-cast? Storefront bidders are concerned that this may be a potential future problem area.

Answer: No flashing will be required; the profile of the sill is not shown correctly; this will be clarified through the shop drawing process.

11. Question: At the area leading to the Men and Women's restrooms in Hallway 133, Sheet A1.1 shows P.T. for the floor finish, Sheet A5.1, detail 1, shows C.T. for the floor finish. Please clarify.

Answer: Ceramic tile.

12. Question: Sheet A3.3, Wall Section 7, The sill detail for the windows appears to show a wood sill and refers us to detail 8 on A3.5. That detail makes no reference to the sill material or finish. Please clarify what happens at these exterior windowsills.

Answer: There will be wood sills at all main floor windows and they will be finished as per Specification Section 09900, Article 3.04A.

13. Question: Several of the wall sections on sheet A3.2 & A3.3 have flag note C1 & F1 for the wall types. These flag notes are floor and ceiling finishes. Please clarify.

Answer: The flag note designation F1 should be changed to W1 and the flag note designation C1 should be changed to W2.

14. Question: Sheet C10 details "Sign Post" and "No Parking Sign Detail". Please confirm quantities and locations.

Answer: Only one (1) "No Parking Sign" is required, and shall be installed at the center of the north side of the large "island", between the accesses off the Private Drive.

15. Question: Sheet C5, South side of Private Access Drive. This area is noted as Landscaped Area (By Others), however Sheet L1 shows dryland seed and trees being

planted in this area. Please clarify.

Answer: The Landscape Plan L1 is correct, please delete the note (By Others) on sheet C5.

16. Question: Sheet C6, There is a note between the Sand/Oil Interceptor and the 6" sanitary sewer service that says "by others". Please clarify what this note is referencing.

Answer: "By others" is simply referencing the Mechanical Engineer, The CE Group. The Sand/Oil Interceptor was designed and sized, as shown on Drawing P2.0 at 6/P2.0.

17. Question: Sheet A6.1 (2 and 4) shows cabinetry for the Crew Room 126; should this be furniture instead?

Answer: Yes, this will be furniture supplied by the City.

18. Question: Sheet C5 On the West side of the property there is a note that says: "Top of planter retaining wall at El 61.45". Please provide additional information if the planter retaining wall exists in the project.

Answer: This planter has been removed from the plan set.

19. Question: Please clarify the correct plan for curb & gutter sizing. Sheet AS.1 & the civil drawings show different curb & gutter sizing.

Answer: The curb & gutter should conform to the Civil Drawings.

20. Question: Sheet C6 Utility Plan. On the Northwest side of the property, there are 2-Type 3 barricades shown. Are the barricades supplied and installed by the city or the GC?

Answer: These will be supplied and installed by the City when we do the striping.

21. Question: Specification Section 07133, Modified Bituminous Sheet Waterproofing. This section calls out to have membrane waterproofing under the standing seam roofing on the exterior canopy. Sheet A8.I, details 2,3 & 4 show 30# felt underlayment. Please verify if this section is required.

Answer: Specification Section 07133 governs.

22. Question: Sheet A3.2, Wall Sections, Details 1 & 3. These details make reference to the ceiling and floor system notes at the wall. Please clarify the proper wall system for details 1 & 3.

Answer: The flag note designation F1 should be changed to W1 and the flag note designation C1 should be changed to W2.

23. Question: Sheet A3.3, Wall Sections & Details. Detail 3. Same issue as Question 5.

Answer: The flag note designation F1 should be changed to W1 and the flag note designation C1 should be changed to W2.

24. Question: Sheet A3.4, Wall Sections. Detail 3, lower wainscoat at wall. Same issue as

Question 5.

Answer: The flag note designation F1 should be changed to W1 and the flag note designation C1 should be changed to W2.

25. Question: Sheet C5 & C6, Site Plans. What is the Scope of work for the General Contractor for Linden Street? Is the city going to remove the existing asphalt, prep and grade, asphalt pave, stripe and furnish and install signage?

Answer: The City will remove the existing asphalt, overlot grade, prep and grade, asphalt pave and stripe. The GC should plan to install signage.

26. Question: Sheet C9, Details. Are there any "No Parking, Bike Lane" signs required to be supplied by the GC in this bid?

Answer: No.

27. Question: Sheet A1.1, Floor Plan. Column detail at grids 8.1 & H. The detail reference appears incorrect. Should this detail be referencing 1 1/A3.5?

Answer: Yes.

28. Question: Sheet A7.1, Doors and Windows. Wood Frames "WF4, WF6, WF7". Change frame detail cut from "9/A7.2" to "9/A7.3"?

Answer: Yes.

29. Question: Sheet A1.1, Floor Plan. Should the Door/Window frames at Room 112 be labeled as a "WF4"?

Answer: Yes.

30. Question: Are any other topsoil amendments required other than those listed on Sheet C3, under Grading and Erosion Control Notes?

Answer: No.

31. Is hydro-seeding an acceptable method of seeding for this project?

Answer: Yes.

32. Spec Section 15300, 1.02, A. This item calls for a complete non-freeze (wet) fire sprinkler system. Are you implying that this system needs to be an antifreeze system? Please clarify.

Answer: This is a wet pipe fire sprinkler system. The term non-freeze should be removed.

RECEIPT OF THIS ADDENDUM MUST BE ACKNOWLEDGED BY A WRITTEN STATEMENT ENCLOSED WITH THE BID/QUOTE STATING THAT THIS ADDENDUM HAS BEEN RECEIVED

**ATTENDANCE RECORD
PREBID CONFERENCE**
Project: Traffic Operations Facility
Time: 10:00a.m.
Date: February 25, 2002
Location: 625 Ninth Street, Training Room

NAME	FIRM NAME	ADDRESS	TELEPHONE	FAX #	E-MAIL ADDRESS
STEVE MERTENS	THISSEN CONST.	2900 "F" ST.-Greeley	970-353-8242	970-351-0530	
ED RHOADARMOR	MBI CORPORATION	PO Box 9553 FC 80522	970 482-6244	970 482 8336	ed@mbi.com
Douglas Kartz	Sun Const.	Boston Ave. Longmont	303-444-4780		
ED BURK	CLARK CONST CO	1530 BOISE AVE. LOVELAND	970-667-0674	663-7384	CLARKCONCO@AFC.COM
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J.R. Burrows	Traffic Operations	625 Ninth 80524	221-6887	221-6270	jrburrows@fcgov.com

ATTENDANCE RECORD
 PREBID CONFERENCE
 Project: Traffic Operations Facility
 Time: 10:00a.m.
 Date: February 25, 2002
 Location: 625 Ninth Street, Training Room

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✓ Douglas Kartz	SUN CONST.	Boston Ave. Longmont	303-444-4780		
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