



CITY OF FORT COLLINS
PURCHASING DIVISION
215 North Mason Street
2nd Floor
FORT COLLINS, CO 80522-055

2007 JAN 10 PM 2:50

COMMUNITY PARKS SIDEW
BID NO: 6019

Presented By:

CONSTRUCTION CONCEPTS
14125 MEAD STREET
LONGMONT, COLORADO
(970)-535-0600

A COLORADO CORPORATION

Est. 1991
Marc Dewey
President

January 10, 2007
3:00 p.m.

14125 Mead Street • Longmont, Colorado 80504 • 970-535-0600 • Fax 970-535-0299 • constconceptsinc.com

SECTION 00300

BID FORM

PROJECT:6019 Community Parks Sidewalks

Place 215 North Mason St. Fort Collins, CO
Date January 10, 2007

1. In compliance with your Invitation to Bid dated 12/6/06 and subject to all conditions thereof, the undersigned a (Corporation, ~~Partnership, Sole Proprietorship~~) authorized to do business in the State of Colorado hereby proposes to furnish and do everything required by the Contract Documents to which this refers for the construction of all items listed on the following Bid Schedule or Bid Schedules.
2. The undersigned Bidder does hereby declare and stipulate that this proposal is made in good faith, without collusion or connection with any other person or persons Bidding for the same Work, and that it is made in pursuance of and subject to all the terms and conditions of the Invitation to Bid and Instructions to Bidders, the Agreement, the detailed Specifications, and the Drawings pertaining to the Work to be done, all of which have been examined by the undersigned.
3. Accompanying this Bid is a certified or cashier's check or standard Bid bond in the sum of Five percent (5%) of the total amount of the bid (\$ _____) in accordance with the Invitation To Bid and Instructions to Bidders.
4. The undersigned Bidder agrees to execute the Agreement and a Performance Bond and a Payment Bond for the amount of the total of this Bid within fifteen (15) calendar days from the date when the written notice of the award of the contract is delivered to him at the address given on this Bid. The name and address of the corporate surety with which the Bidder proposes to furnish the specified performance and payment bonds is as follows: Travelers Casualty and Surety Company of America.
5. All the various phases of Work enumerated in the Contract Documents with their individual jobs and overhead, whether specifically mentioned, included by implication or appurtenant thereto, are to be performed by the CONTRACTOR under one of the items listed in the Bid Schedule, irrespective of whether it is named in said list.
6. Payment for Work performed will be in accordance with the Bid Schedule or Bid Schedules subject to changes as provided in the Contract Documents.
7. The undersigned Bidder hereby acknowledges receipt of Addenda No. 1 through 5.

8. BID SCHEDULE (Base Bid)

| Bid Items are described in Section 01800 | | | | | |
|--|---|--------------------|------|---------------------|-----------------------|
| BID ITEM # | DESCRIPTION | ESTIMATED QUANTITY | UNIT | UNIT PRICE | ITEM TOTAL |
| 01 | Mobilization | 1 | LS | 2347. ⁰⁰ | 2347. ⁰⁰ |
| 02 | Traffic control | 1 | LS | 2614. ⁰⁰ | 2614. ⁰⁰ |
| CITY PARK | | | | | |
| 03 | Remove curb and gutter | 50 | LF | 7. ⁷⁶ | 388. ⁰⁰ |
| 04 | Remove conc. walk/ramp | 60 | SF | 5. ¹² | 307. ⁰⁰ |
| 05 | Earthwork - Unclassified Excavation | 45 | CY | 10. ⁷⁶ | 484. ⁰⁰ |
| 06 | 5" Concrete flatwork | 3,510 | SF | 4. ⁶³ | 16,438. ⁰⁰ |
| 07 | ADA Pedestrian ramps | 3 | Ea | 966. ⁹¹ | 2,901. ⁰⁰ |
| 08 | Sod replacement | 2,344 | SF | 0. ⁷¹ | 1,661. ⁰⁰ |
| LEE MARTINEZ PARK | | | | | |
| 09 | Remove curb and gutter | 16 | LF | 20. ¹⁵ | 322. ⁰⁰ |
| 10 | Earthwork - Unclassified Excavation | 116 | CY | 10. ⁷⁷ | 1,249. ⁰⁰ |
| 11 | 4" irrigation sleeve | 3 | Ea | 32. ⁶⁴ | 98. ⁰⁰ |
| 12 | 5" Concrete flatwork | 6,420 | SF | 4. ²⁶ | 27,332. ⁰⁰ |
| 13 | ADA Pedestrian ramps | 1 | Ea | 967. ⁰⁰ | 967. ⁰⁰ |
| 14 | Sod replacement | 4,280 | SF | 0. ⁶⁹ | 2,951. ⁰⁰ |
| EDORA PARK | | | | | |
| 15 | Remove curb and gutter | 40 | LF | 8. ⁰⁶ | 322. ⁰⁰ |
| 16 | Remove and relocate existing frisbee golf tee | 2 | Ea | 595. ⁸⁴ | 1,192. ⁰⁰ |
| 17 | Earthwork - Unclassified Excavation | 130 | CY | 10. ⁷⁷ | 1,401. ⁰⁰ |
| 18 | 4" irrigation sleeve | 4 | Ea | 31. ³⁰ | 125. ⁰⁰ |
| 19 | 5" Concrete flatwork | 7,122 | SF | 4. ¹³ | 29,416. ⁰⁰ |
| 20 | ADA Pedestrian ramps | 2 | Ea | 966. ⁹¹ | 1,934. ⁰⁰ |
| 21 | Sod replacement | 4,715 | SF | 0. ⁶⁹ | 3,271. ⁰⁰ |
| ROLLAND MOORE PARK | | | | | |
| 22 | Remove curb and gutter | 48 | LF | 6. ⁸⁸ | 330. ⁰⁰ |
| 23 | Remove existing tree | 1 | Ea | 176. ⁰⁰ | 176. ⁰⁰ |
| 24 | Earthwork - Unclassified Excavation | 232 | CY | 10. ⁷⁵ | 2,495. ⁰⁰ |
| 25 | 4" irrigation sleeve | 3 | Ea | 32. ⁶⁴ | 98. ⁰⁰ |
| 26 | 5" Concrete flatwork | 12,900 | SF | 4. ¹⁷ | 53,834. ⁰⁰ |
| 27 | ADA Pedestrian ramps | 2 | Ea | 966. ⁹¹ | 1,934. ⁰⁰ |

| BID ITEM # | DESCRIPTION | ESTIMATED QUANTITY | UNIT | UNIT PRICE | ITEM TOTAL |
|--------------------------|--|--------------------|------|------------|---------------------|
| 28 | Sod replacement | 8,600 | SF | 0.68 | 5888.00 |
| 29 | Remove existing walk | 1,620 | SF | 1.46 | 2358.00 |
| 30 | Remove & transport existing 35' bridge to storage yard | 1 | LS | 822.00 | 822.00 |
| 31 | Remove existing curb and gutter | 90 | LF | 6.20 | 558.00 |
| 32 | Earthwork - Excavation & Embankment | 150 | CY | 6.87 | 1030.00 |
| 33 | Earthwork - Import Embankment C.I.P. | 1,592 | CY | 12.90 | 20533.00 |
| 34 | Ped. Bridge Abutment w/ Helix pier system | 2 | Ea | 5823.92 | 11648.00 |
| 35 | 60' Pedestrian Bridge Installation | 1 | Ea | 1439.00 | 1439.00 |
| 36 | 8" PVC Culvert | 172 | LF | 14.84 | 2552.00 |
| 37 | Culvert Headwall | 2 | Ea | 1760.33 | 3521.00 |
| 38 | Concrete channel and sidewalk culvert - 2' wide | 2 | Ea | 2237.41 | 4475.00 |
| 39 | 4' Pan and Aprons | 350 | SF | 9.90 | 3464.00 |
| 40 | ADA Pedestrian ramps | 5 | Ea | 966.91 | 4835.00 |
| 41 | Curb and gutter w/ 1' pan | 750 | LF | 13.23 | 9924.00 |
| 42 | 5" Concrete flatwork | 6,304 | SF | 4.22 | 26590.00 |
| 43 | 6" Concrete flatwork - pad 20' x 24' | 480 | SF | 5.30 | 2543.00 |
| 44 | 6" Concrete Pavement - Parking Lot | 13,500 | SF | 3.80 | 51277.00 |
| 45 | Asphalt Patching | 600 | SF | 6.98 | 4190.00 |
| 46 | Topsoil - 4" all nonpaved areas | 242 | CY | 17.46 | 4225.00 |
| 47 | Non-Irrigated Seed and mulch | 21,395 | SF | 0.08 | 1632.00 |
| 48 | Striping | 1 | LS | 282.00 | 282.00 |
| TOTAL OF BASE BID | | | | | \$320,370.00 |

Three hundred twenty thousand three hundred seventy (written) Dollars

CONSTRUCTION CONCEPTS, INC.

01/10/07

Contractor

Date

Marc Dewey
Signature

Marc Dewey, President

9. PRICES

The foregoing prices shall include all labor, materials, transportation, shoring, removal, dewatering, overhead, profit, insurance, etc., to cover the complete Work in place of the several kinds called for.

Bidder acknowledges that the OWNER has the right to delete items in the Bid or change quantities at his sole discretion without affecting the Agreement or prices of any item so long as the deletion or change does not exceed twenty-five percent (25%) of the total Agreement Price.

RESPECTFULLY SUBMITTED:

Marc Dewey Pres. Jan. 10, 2007
Signature Marc Dewey Date

President
Title

C1-65
License Number (If Applicable)

(Seal - if Bid is by corporation)

Attest:

[Signature]
Address 14125 Mead Street, Longmont, CO 80504

Telephone 970-535-0600

SECTION 00400

SUPPLEMENTS TO BID FORMS

| | |
|-------|--------------------------------------|
| 00410 | Bid Bond |
| 00420 | Statement of Bidder's Qualifications |
| 00430 | Schedule of Subcontractors |

SECTION 00410

BID BOND

KNOW ALL MEN BY THESE PRESENTS: Construction Concepts, Inc. that we, the undersigned as Principal, and Travelers Casualty and Surety Company of America as Surety, are hereby held and firmly bound unto the City of Fort Collins, Colorado, as OWNER, in the sum of \$Five percent (5%) of the total amount of the bid for the payment of which, well and truly to be made, we hereby jointly and severally bind ourselves, successors, and assigns.

THE CONDITION of this obligation is such that whereas the Principal has submitted to the City of Fort Collins, Colorado the accompanying Bid and hereby made a part hereof to enter into a Construction Agreement for the construction of Fort Collins Project, 6019 Community Parks Sidewalks.

NOW THEREFORE,

- (a) If said Bid shall be rejected, or
- (b) If said Bid shall be accepted and the Principal shall execute and deliver a Contract in the form of Contract attached hereto (properly completed in accordance with said Bid) and shall furnish a BOND for his faithful performance of said Contract, and for payment of all persons performing labor or furnishing materials in connection therewith, and shall in all other respects perform the Agreement created by the acceptance of said Bid, then this obligation shall be void; otherwise the same shall remain in force and effect, it being expressly understood and agreed that the liability of the Surety for any and all claims hereunder shall, in no event, exceed the penal amount of this obligation as herein stated.

The Surety, for value received, hereby stipulates and agrees that the obligations of said Surety and its BOND shall be in no way impaired or affected by any extension of the time within which the OWNER may accept such Bid; and said Surety does hereby waive notice of any such extension.

Surety Companies executing bonds must be authorized to transact business in the State of Colorado and be accepted by the OWNER.

IN WITNESS WHEREOF, the Principal and the Surety have hereunto set their hands and seals this 3rd day of January, 2007, and such of them as are corporations have caused their corporate seals to be hereto affixed and these presents to be signed by their proper officers, the day and year first set forth above.

PRINCIPAL

Name: Construction Concepts, Inc.

Address: 14125 Mead Street

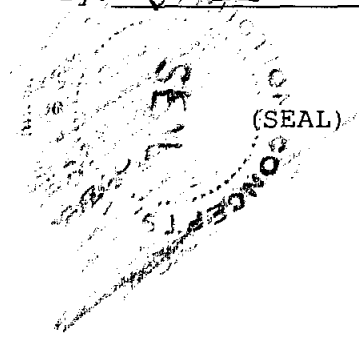
Longmont, CO 80504

By: *Marc Dewey*
Marc Dewey

Title: President

ATTEST:

By: *J. A. Dewey*



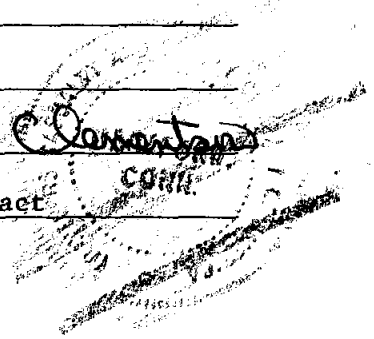
SURETY

Travelers Casualty and Surety Company of America

Hartford, CT 06183

By: *Simon Y. Constantopoulos*

Title: Attorney-in-Fact



(SEAL)



POWER OF ATTORNEY

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
Seaboard Surety Company
St. Paul Fire and Marine Insurance Company

St. Paul Guardian Insurance Company
St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company

Attorney-In Fact No. 217963

Certificate No. 001287683

KNOW ALL MEN BY THESE PRESENTS: That Seaboard Surety Company is a corporation duly organized under the laws of the State of New York, that St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company and St. Paul Mercury Insurance Company are corporations duly organized under the laws of the State of Minnesota, that Farmington Casualty Company, Travelers Casualty and Surety Company, and Travelers Casualty and Surety Company of America are corporations duly organized under the laws of the State of Connecticut, that United States Fidelity and Guaranty Company is a corporation duly organized under the laws of the State of Maryland, that Fidelity and Guaranty Insurance Company is a corporation duly organized under the laws of the State of Iowa, and that Fidelity and Guaranty Insurance Underwriters, Inc. is a corporation duly organized under the laws of the State of Wisconsin (herein collectively called the "Companies"), and that the Companies do hereby make, constitute and appoint

Connie K. Boston, Donald B. Martin, Chris S. Richmond, Darlene Krings, William C. Bensler, Kelly T. Urwiller, Russell J. Michels, Diane F. Clementson, Valerie R. Partridge, Penny R. Burkard, Anthony P. Stimac, Royal R. Lovell, and Jennifer Winter

of the City of Greeley, State of Colorado, their true and lawful Attorney(s)-in-Fact, each in their separate capacity if more than one is named above, to sign, execute, seal and acknowledge any and all bonds, recognizances, conditional undertakings and other writings obligatory in the nature thereof on behalf of the Companies in their business of guaranteeing the fidelity of persons, guaranteeing the performance of contracts and executing or guaranteeing bonds and undertakings required or permitted in any regions or proceedings allowed by law.

IN WITNESS WHEREOF, the Companies have caused this instrument to be signed and their corporate seals to be hereto affixed, this 6th day of November, 2006

WARNING: THIS POWER OF ATTORNEY IS INVALID WITHOUT THE RED BORDER

Farmington Casualty Company
Fidelity and Guaranty Insurance Company
Fidelity and Guaranty Insurance Underwriters, Inc.
Seaboard Surety Company
St. Paul Fire and Marine Insurance Company

St. Paul Guardian Insurance Company
St. Paul Mercury Insurance Company
Travelers Casualty and Surety Company
Travelers Casualty and Surety Company of America
United States Fidelity and Guaranty Company



State of Connecticut
City of Hartford ss.

By: George W. Thompson, Senior Vice President

On this the 6th day of November, 2006, before me personally appeared George W. Thompson, who acknowledged himself to be the Senior Vice President of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., Seaboard Surety Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, and that he, as such, being authorized so to do, executed the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

In Witness Whereof, I hereunto set my hand and official seal. My Commission expires the 30th day of June, 2011.



Marie C. Tetreault
Marie C. Tetreault, Notary Public

This Power of Attorney is granted under and by the authority of the following resolutions adopted by the Boards of Directors of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., Seaboard Surety Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America, and United States Fidelity and Guaranty Company, which resolutions are now in full force and effect, reading as follows:

RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President, any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary may appoint Attorneys-in-Fact and Agents to act for and on behalf of the Company and may give such appointee such authority as his or her certificate of authority may prescribe to sign with the Company's name and seal with the Company's seal bonds, recognizances, contracts of indemnity, and other writings obligatory in the nature of a bond, recognizance, or conditional undertaking, and any of said officers or the Board of Directors at any time may remove any such appointee and revoke the power given him or her; and it is

FURTHER RESOLVED, that the Chairman, the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President may delegate all or any part of the foregoing authority to one or more officers or employees of this Company, provided that each such delegation is in writing and a copy thereof is filed in the office of the Secretary; and it is

FURTHER RESOLVED, that any bond, recognizance, contract of indemnity, or writing obligatory in the nature of a bond, recognizance, or conditional undertaking shall be valid and binding upon the Company when (a) signed by the President, any Vice Chairman, any Executive Vice President, any Senior Vice President or any Vice President, any Second Vice President, the Treasurer, any Assistant Treasurer, the Corporate Secretary or any Assistant Secretary and duly attested and sealed with the Company's seal by a Secretary or Assistant Secretary; or (b) duly executed (under seal, if required) by one or more Attorneys-in-Fact and Agents pursuant to the power prescribed in his or her certificate or their certificates of authority or by one or more Company officers pursuant to a written delegation of authority; and it is

FURTHER RESOLVED, that the signature of each of the following officers: President, any Executive Vice President, any Senior Vice President, any Vice President, any Assistant Vice President, any Secretary, any Assistant Secretary, and the seal of the Company may be affixed by facsimile to any power of attorney or to any certificate relating thereto appointing Resident Vice Presidents, Resident Assistant Secretaries or Attorneys-in-Fact for purposes only of executing and attesting bonds and undertakings and other writings obligatory in the nature thereof, and any such power of attorney or certificate bearing such facsimile signature or facsimile seal shall be valid and binding upon the Company and any such power so executed and certified by such facsimile signature and facsimile seal shall be valid and binding on the Company in the future with respect to any bond or understanding to which it is attached.

I, Kori M. Johanson, the undersigned, Assistant Secretary, of Farmington Casualty Company, Fidelity and Guaranty Insurance Company, Fidelity and Guaranty Insurance Underwriters, Inc., Seaboard Surety Company, St. Paul Fire and Marine Insurance Company, St. Paul Guardian Insurance Company, St. Paul Mercury Insurance Company, Travelers Casualty and Surety Company, Travelers Casualty and Surety Company of America and United States Fidelity and Guaranty Company do hereby certify that the above and foregoing is a true and correct copy of the Power of Attorney executed by said Companies, which is in full force and effect and has not been revoked.

WARNING: THIS POWER OF ATTORNEY IS INVALID WITHOUT THE RED BORDER

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 3rd day of January, 2007.


Kori M. Johanson, Assistant Secretary



To verify the authenticity of this Power of Attorney, call 1-800-421-3880 or contact us at www.stpaultravelersbond.com. Please refer to the Attorney-In-Fact number, the above-named individuals and the details of the bond to which the power is attached.

SECTION 00430

SCHEDULE OF SUBCONTRACTORS

List all subcontractors for the work items listed below and all subcontractors performing over 10% of the contract.

| ITEM | SUBCONTRACTOR |
|-----------------------------|-----------------------------|
| <u>Earthwork/Excavation</u> | <u>C & J Trenching</u> |
| <u>Flatwork</u> | <u>Willmark Enterprises</u> |
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**CITY OF FORT COLLINS
BIDDERS QUALIFICATIONS**

**CITY OF FORT COLLINS
PURCHASING DIVISION
215 North Mason Street
2nd Floor
FORT COLLINS, CO 80522-0580**

PROJECT HISTORY

**COMMUNITY PARKS SIDEWALKS
BID NO: 6019**

COMPANY RESUMES

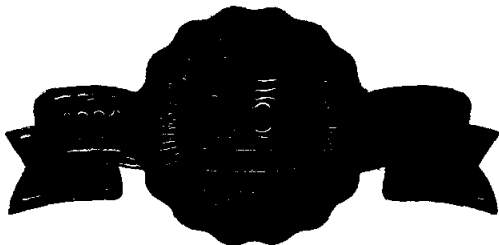
**Presented By:
CONSTRUCTION CONCEPTS, INC.
14125 MEAD STREET
LONGMONT, COLORADO 80504
(970)-535-0600**

LICENSING & INSURANCE

A COLORADO CORPORATION

**Est. 1991
Marc Dewey
President**

FINANCIAL & BONDING



SECTION 00420

STATEMENT OF BIDDER'S QUALIFICATIONS

All questions must be answered and the data given must be clear and comprehensive. This statement must be notarized. If necessary, questions may be answered on separate attached sheets. The Bidder may submit any additional information he desires.

1. Name of Bidder: CONSTRUCTION CONCEPTS, INC.
2. Permanent main office address: 14125 Mead Street, Longmont, CO 80504
3. When organized: July 1991
4. If a corporation, where incorporated: Colorado
5. How many years have you been engaged in the contracting business under your present firm or trade name? Fifteen (15)
6. Contracts on hand: (Schedule these, showing the amount of each contract and the appropriate anticipated dates of completion.)
Wellstar Corp. 490,409.00 Feb. 2007
North Pointe Retail 730,000. Apr. 2007
Boulder Scientific -Pre-construction Services T & M
7. General character of Work performed by your company:
General Contractor/Construction Management
8. Have you ever failed to complete any Work awarded to you? No
If so, where and why? N/A
9. Have your ever defaulted on a contract? No
If so, where and why? N/A
10. Are you debarred by any government agency? No
If yes list agency name. N/A

11. List the more important projects recently completed by your company, stating the approximate cost of each, and the month and year completed, location and type of construction.
City of Greeley GTV-8 Television Studio \$176,000 Sep. 06 919 7th St. Greeley
CSU Diagnostics Lab \$ 414,000 Oct. 06 400 W. Drake Ft. Collins addition/remodel
Agra Holdings \$886,000. May 06 Business Park Circle Frederick CO New construction
Platteville Museum, \$454,000. Aug. 06 502 Marion St. Platteville CO remodel/additio
12. List your major equipment available for this contract.
Construction Concepts, Inc. owns, or has access to any and all equipment
necessary to complete the scope of work requested for this project.
13. Experience in construction Work similar in importance to this project:
see attached company brochure.
14. Background and experience of the principal members of your organization, including officers:
See attached
15. Credit available: \$ Financial statement available upon request.
16. Bank reference: Centennial Bank of the West Mel Green, Del Camino President
720-494-2210
17. Will you, upon request, fill out a detailed financial statement and furnish any other information that may be required by the OWNER?
Yes
18. Are you licensed as a General CONTRACTOR? Yes
 If yes, in what city, county and state? Colorado What class, license and numbers? We hold numerous contractor licenses, our Fort Collins License number is C1-65.
19. Do you anticipate subcontracting Work under this Contract? Yes
 If yes, what percent of total contract? 80%
 and to whom? Concrete, excavating and landscape contractors we have had ongoing relationships with for numerous years.
20. Are any lawsuits pending against you or your firm at this time? No
 IF yes, DETAIL N/A

21. What are the limits of your public liability? DETAIL
See attached
 What company? See attached Linden Bartels & Noe Insurance
22. What are your company's bonding limitations? no current bonding limits
we have never been denied any bond requests to date (see attached letter)
23. The undersigned hereby authorizes and requests any person, firm or corporation to furnish any information requested by the OWNER in verification of the recital comprising this Statement of Bidder's Qualifications.

Dated at Longmont Colorado this 10 day of January, 2007.

CONSTRUCTION CONCEPTS, INC.
 Name of Bidder
 By: Marc Dewey Pres
Marc Dewey
 Title: President

State of Colorado
 County of Weld

Marc Dewey being duly sworn deposes and says that he is President of Construction Concepts, Inc. and that (name of organization) the answers to the foregoing questions and all statements therein contained are true and correct.

Subscribed and sworn to before me this 10th day of January, 2007.

Dawn J. Kesterke
 Notary Public



My commission expires 09/24/2010

Jobs In Progress

| Name of Project | Owner/Architect | Contract Amount | Percent Complete | Contract Type | PM/Super |
|---|---|-----------------|------------------|-----------------|----------|
| Colorado State Univ. Diagnostics Offices | State of Colorado/CSU | 413,885 | 100% | Fixed Price Bid | SS/DS |
| Ball Dynamics Warehouse | Wellstar Corporation/Freeman Architects | 490,409 | 50% | Negotiated | MM/DW |
| GTV-8 Television Studio | City of Greeley/City of Greeley | 162,000 | 100% | Fixed Price Bid | SS/DS |
| North Pointe Retail Center | MGD Land | 870,000 | 20% | Negotiated | MM/BB |
| Pre Construction Boulder Scientific/Hudson Facility | Boulder Scientific | | | Negotiated | DG/MD |

Note: Trades performed by Construction Concepts, Inc. averages 30-40%

MD= Marc Dewey

DG= Dan Grelle

MM=Mike Murray

SS=Scott Solem

DS= Dave Swinney

BB= Brad Betschowa

DW=Dale Wellmon

Prep. November 2006

Completed Projects - 2006

| Name of Project | Owner/Architect | Contract Amount | Percent Complete | Contract Type | PM/Super |
|-------------------------------------|--|-----------------|------------------|-----------------|----------|
| Evans Fire Station #2 | City of Evans/Landmark Engineering | 1,124,271 | 100% | Fixed Price Bid | SS/DS |
| Platteville Museum Remodel/Addition | Platteville Historical Society/Hauser Architects | 449,714 | 100% | Fixed Price Bid | SS/DW |
| Mile High Harley Davidson | Ray Cooper/MN2 Architecture | 567,000 | 100% | Negotiated | DG/BB |
| MadCap Theater complex | WestCol Center, LLC/MCG Architecture | 660,564 | 100% | Negotiated | MD |
| Arkansas Valley Seed Expansion | Land O Lakes/Research Seed/Design Build | 969,137 | 100% | Negotiated | MD/DW |
| Agra Holdings Office Building | Lanning & Co. LLC/Landmark Engineering | 918,513 | 100% | Negotiated | MD/BB |
| Mad Cap Theater, TI | Ron Fallaci/MCG Architecture | 321,956 | 100% | Negotiated | MD |
| Kum & Go Station # 910 | Kum & Go Corporation/Shiffier Associates | 315,356 | 100% | Negotiated | SS/DS |

Note: Trades performed by Construction Concepts, Inc. averages 30-40%

SS=Scott Solem
 MD= Marc Dewey
 DG= Dan Grelle
 MM= Mike Murray

DS= Dave Swinney
 BB= Brad Betschowa
 DW=Dale Wellmon

Completed Projects - 2005

| Name of Project | Owner/Architect | Contract Amount | Percent Complete | Contract Type | PM/Super |
|--|--|-----------------|------------------|-----------------|----------|
| North Pointe | MGD Land | 506,385 | 100% | Negotiated | MD/DG |
| Summer Park Village | MGD Land | 1,175,241 | 100% | Negotiated | MD/DG |
| Omni Interlocken Spa/Outdoor Pavilion | Omni Group/Zmistowski Design Group, LLC | 2,518,856 | 100% | Fixed Price Bid | BB/DW |
| Lionsgate Properties/Historical Renovation | Tom Jenkinson/Architectural Partnership | 328,075 | 100% | Negotiated | RF/DS |
| Rawhide Fire Training Facility | Platte River Power Authority/WHP | 107,500 | 100% | Fixed Price Bid | MD/DS |
| AHEC - Miscellaneous TI Projects | Auraria Higher Education | 598,518 | 100% | Standing Order | BB/SC |
| Highland Hills Golf Course Addition | City of Greeley | 71,384 | 100% | Fixed Price Bid | RF/BB |
| FRCC- Ventilation Upgrade | Front Range Community College | 314,164 | 100% | Fixed Price Bid | RF/DS |
| Lawrenson Hall Fire Protection Upgrade | University of Northern Colorado | 1,504,183 | 100% | Fixed Price Bid | RF/BB |
| Olson Storage | 19480, LLC/ Design Build | 143,260 | 100% | Negotiated | MD/DS |
| South Adams County Fire Training Facility | South Adams County Fire Protection Dist./WHP | 277,436 | 100% | Fixed Price Bid | BB/DS |
| Transit Center Glass Block Replacement | City of Greeley | 173,667 | 100% | Fixed Price | RF/BB |
| Lawrence Center 9th Floor Remodel | University of Colorado Health Sciences Ctr. | 157,824 | 100% | Fixed Price Bid | BB/SC |

Note: Trades performed by Construction Concepts, Inc. averages 30-40%

BB= Brad Bakel

DS= Dave Swinney

MD= Marc Dewey

BB= Brad Betschowa

SC= Steve Clay

DG= Dan Grelle

RF= Richard Fagre

DW= Dale Wellmon

SS=Scott Solem

Prep. Dec. 2005

Completed Projects - 2004

| Name of Project | Owner/Architect | Contract Amount | Percent Complete | Scheduled Completion | Contract Type | PM/Super |
|--------------------------------------|-------------------------------------|-----------------|------------------|----------------------|-----------------|----------|
| Greeley Police Evidence Storage | City of Greeley/City of Greeley | 47,974 | 100% | Feb-04 | Fixed Price Bid | RF/DS |
| North Washington Fire Station 33 | NWFPD/Scudder & Associates | 472,189 | 100% | May-04 | Fixed Price Bid | BB/SC |
| North Washington Fire Station Maint. | NWFPD/Scudder & Associates | 1,558,891 | 100% | May-04 | Fixed Price Bid | BB/SC |
| Blue River Tenant Finish | Poudre Investments/Hillhouse Assoc. | 294,375 | 100% | Jun-04 | Negotiated | RF/DS |
| AHEC - Miscellaneous TI Projects | Auraria Higher Education | 800,000 | 100% | Dec-04 | Standing Order | MD/SC |
| Jenkinson Tenant Finish | Jenkinson/Hillhouse Assoc. | 297,288 | 100% | Jun-04 | Negotiated | RF/DS |
| Seven Oaks Academy - Fort Collins | Larry Neal/Hillhouse Assoc. | 1,080,795 | 100% | Sep-04 | Negotiated | RF/CH |
| Frito-Lay - Colorado Springs/TI | Frito-Lay/Con-Real | 1,605,681 | 100% | Jul-04 | Negotiated | RF/DG |
| Ft. Lupton Fire Training Facility | Ft. Lupton Fire/WHP Enterprises | 99,407 | 100% | Jun-04 | Negotiated | MD |
| North Washington Station #31 | NWFPD/Scudder & Associates | 569,706 | 100% | Nov-04 | Fixed Price Bid | MD/SC |
| North Washington Station #32 | NWFPD/Scudder & Associates | 378,773 | 100% | Dec-04 | Fixed Price Bid | MD/SC |

Note: Trades performed by own forces averages 30-40%

BB= Brad Bakel

DS= Dave Swinney

MD= Marc Dewey

SC= Steve Clay

RF= Richard Fagre

DG=Dan Grelle

Prepared Dec 2004



MARC W. DEWEY
PRESIDENT
 30 Years Experience

JOB DESCRIPTION

As President, Marc oversees all departments of Construction Concepts, Inc. He is active daily insuring that his construction and business philosophies of integrity and professionalism are practiced throughout the company. He often is a team member on select projects and contributes valuable expertise enhancing the construction programs.

PROJECT EXPERIENCE
 (PARTIAL LIST)

- Stanford Applied Engineering-Boulder, CO \$ 1,500,000
- Staodynamics-Longmont, CO \$ 2,200,000
- Longmont United Hospital- Longmont, CO \$ 2,700,000
- Ball Aerospace- Boulder, Broomfield, Westminster, CO \$ 5,000,000
- Storage Tek-Louisville, CO \$ 9,000,000
- Custom Homes- Colorado Front Range \$31,000,000
- Valley 66 office/warehouse-Longmont, CO \$ 1,600,000
- Seven Oaks Academy-Ft. Collins, Loveland, Westminster, Longmont, CO \$ 4,900,000
- Star Precision, Inc.-Frederick, CO \$ 4,700,000
- Colorado State University- Fort Collins, CO \$ 2,500,000
- First National Bank-Wellington, CO \$ 1,000,000
- Erie Office Complex- Erie, CO \$ 1,000,000
- Gunbarrel Offices-Boulder, CO \$ 1,500,000
- City of Evans Parks & Recreation, Evans, CO \$ 2,000,000

EDUCATION

Colorado State University, Fort Collins CO - Construction Management B.S.
 Association of General Contractors of Colorado-Annual Construction Conference, Project Management Training, Supervisory Training, Code Review, Best Management Practices, OSHA Safety and industry code studies.

WORK HISTORY

| | | |
|---------------|-----------------------------|-------------------|
| 1990- Present | Construction Concepts, Inc. | President |
| 1987-1990 | Sun Construction, CO | Project Manager |
| 1978-1987 | Fagre Construction, Company | Project Manager |
| 1973-0974 | Winter Park Association | Lift Construction |
| 1971-1973 | Bartram Homes | Frame Supervisor |

REFERENCES

| | | |
|---|---|--|
| Bill Lanning Lanning & Company Owner Boulder, CO 80301 303-530-9944 | Larry Neal Seven Oaks Academy Owner Fort Collins, CO 970-229-0300 | Tony Bosch Heritage Ford Service Manager Fort Collins, CO 970-667-2220 |
|---|---|--|



SCOTT A. SOLEM
SENIOR PROJECT MANAGER
28 Years Experience

JOB DECSRIPTION

As Senior Project Manager, Scott is in charge of operations, cost tracking, and value engineering, short and long range planning, overseeing every aspect of each project. Scott brings not only extensive knowledge of the construction trade, but leadership, problem solving, vision, and resource management. Scott as Owner/President of his own company for 8 years understands fair business practice and focus on the bottom line. Scotts traits and attributes include highly motivated, creative thinker, detail and quality oriented, "Get it Done" attitude, and firm but fair demeanor.

PROJECT EXPERIENCE

- Waste Water Treatment Plant \$3.4 M
- Gas Tank Removal and Site Reclamation \$2 M
- 10,000 SF Clean room renovation \$1.6M
- Advance Cruise Missile fit up \$600,000
- TPTH Clean Room \$2.1M
- 550,000 SF remodel consisting of 32 subset projects \$22M
- Modification of existing primary/secondary chilled water distribution System in an operating DASD factory \$260,000
- Bldg 1 Office/Lab/Classroom HVAC upgrade \$575,000
- Bldg 3/5 Fire main repairs \$400,000
- 911 UPS backup system upgrade \$60,000
- Collision Technology Canopy \$381,000

EDUCATION

1980 Graduate Carpio High School Carpio ND
IICRC Certified Substrate Inspection & Technologies

WORK HISTORY

- 1998 - 2006 Owner/ President, Minnkota Contracting, Inc.
- 1997 - 1998 Construction Project Manager, Integrated Planning & Engineering
- 1990- 1997 Facilities Project Manager, Storage Technology Corporation
- 1984 - 1990 Carpenter/ Superintendent, Sun Construction, Inc.
- 1987- 1988 Carpenter, Groathouse Construction
- 1977-1984 Various Construction Companies in and around Minot North Dakota

REFERENCES

Presented upon request



DAN GRELE
MARKETING/DEVELOPMENT
 17 Years Experience

As Vice President, Dan keeps our company on the cutting edge with current information, client public relations, and project discovery. He facilitates construction with ongoing operations management and also heads up land development and investment projects. Dan has given Construction Concepts, Inc. 14 years of dedicated service and is a long-term asset to the company.

PROJECT EXPERIENCE
 (PARTIAL LIST)

- Evans North Pointe Development \$1,200,000
- Summer Park Development \$1,400,000
- Lighting Designs & Home Furnishings-Loveland, CO \$1,200,000
- Frito Lay Distribution-Colorado Springs, CO \$1,800,000
- Palmer Properties-Fort Collins, CO \$900,000
- Escape Spa & Salon-Windsor, CO \$200,000
- House of Bread-Westminster, CO \$150,000
- Crossroads Development-Loveland, CO \$170,000
- Adrenalized Paintball-Fort Collins, CO \$20,000
- Open Pen Project NWRC-Fort Collins, CO \$16,300,000
- Residential Custom Housing-Northern Colorado \$31,000,000
- Storage Technology Software Engineering-Louisville, CO \$280,000

EDUCATION/LICENSING

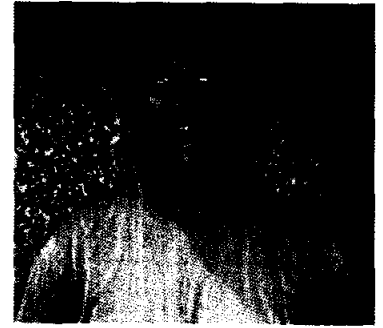
Colorado State University, Fort Collins CO - Construction Management B.S.
 Association of General Contractors of Colorado-Annual Construction Conference, Project Management Training, Supervisory Training, Code Review, Best Management Practices, OSHA Safety and industry code studies. Dale Carnegie course, Jack Miller
 Licensed General Contractor- City of Fort Collins, City of Loveland, City of Aurora

WORK HISTORY

| | | |
|--------------|-----------------------------|-----------------|
| 2006-Present | Construction Concepts, Inc. | Vice President |
| 1992-2005 | Construction Concepts, Inc. | Project Manager |
| 1988-1990 | Colebank Construction | Frame Carpenter |

REFERENCES

| | | |
|---|---|--|
| Bill Lanning Lanning & Company Owner Boulder, CO 80301 303-530-9944 | Kaye Firestone Lighting Designs Owner Loveland, CO 970-593-1101 | Kevin Deyo Agilent Sales Manager Fort Collins, CO 970-207-0830 |
|---|---|--|



Michael S. Murray
PROJECT MANAGER

KEY ACCOMPLISHMENTS

- Successfully managed the planning, design and construction of 45 projects throughout the continental United States over the last 6 years. The projects consisted of over 300k combined square feet of tenant finish space totaling over \$14 million.
 - 180k square feet of relocation space
 - 35k square feet of expansion space
 - 93k square feet of remodel space
- Largest project consisted of 25k square feet with a total cost of \$1.45M.
- 95% of all projects were on schedule and 100% of all projects were within or under budget.

SUMMARY OF QUALIFICATIONS

Project/Construction Management:

- Planned and formulated design alternatives and solutions for construction projects.
- Reviewed tenant work letter agreements to identify negotiation points and specifications.
- Coordinated the production of basic design plans and construction documents.
- Reviewed and interpreted proposed designs, architectural drawings, and building specifications for appropriateness to required function and initiated revisions.
- Ensured that project operations were in compliance with design specifications and with company, state, and federal policies and regulations.
- Prepared project specifications and coordinated procurement.
- Inspected, approved, and accepted completed projects for the company, ensuring conformance with company standards, building and life safety codes, and architectural/engineering specifications.
- Represented the company in business with customers, consultants, contractors, and other public and/or private agencies and organizations.

Financial Management:

- Provided cost estimates based square foot requirements and/or conceptual plans.
- Developed and administered project budgets and fiscal controls, contracts, and quality control.
- Performed project cost estimating and forecasting.
- Authorized the issuance of contracts, purchase orders, and change orders and approved contractor invoices for payment.

Resource Utilization:

- Re-engineered real estate project processes and procedures to increase efficiency.
- Day-to-day management of construction projects including but not limited to general contractors, furniture, security, IS and Moving Vendors.
- Monitored and coordinated work performed by architectural, engineering, and construction firms, as well as state and local entities.
- Established performance and delivery criteria, ensuring that client and company requirements were being met.
- Directed work sequencing to expedite project delivery and to minimize disruption.

Client and Vendor Relations:

- Managed weekly project status meetings.
- Developed project status reports and presentations for all levels of management.
- Advised consultants and clients as how to best achieve required results.

EXPERIENCE

ALTA COLLEGES INC.

Denver, Colorado

Corporate Real Estate Project Manager

November 2005 - Present

Construction project management; New and existing Westwood College campuses in North America.

STORAGE TECHNOLOGY CORPORATION

Louisville, Colorado

Construction Project Manager

February 2001 - November 2005

Construction project management; In addition, this position is responsible for managing the client/vendor interactions and decision processes to achieve project plans, schedules and outcomes through functional implementation.

Construction Project Administrator

April 1992 - February 2001

Construction project administrator; responsible for directing, monitoring and overseeing the operations and administration of assigned projects under the direction of a Construction Project Manager. This included coordinating project activities, resources and other project staff, monitoring the performance and progress against documented objectives, and managing to the established revenue and expense goals.

HENSEL PHELPS CONSTRUCTION COMPANY

Greeley, Colorado/ Irvine California

Project Field Engineer/Office Engineer

January 1987 - April 1992

Project field engineer/office engineer; responsible for field layout control, subcontractor coordination/planning and scheduling, material procurement, quality control, and safety compliance. This position was also responsible for architect/contractor correspondence, shop drawing review and approval, requests for information, document control, and invoice review and approval. Projects of Note: Sheraton Hotel at Torrey Pines, Denver International Airport, Florence Federal Correctional Facility, California State Prison - Corcoran, CA, State Street Mall - Santa Barbara, CA,

EDUCATION

Colorado State University:

Pursued Bachelor of Science in Industrial Construction Management.

August 1984 - December 1986

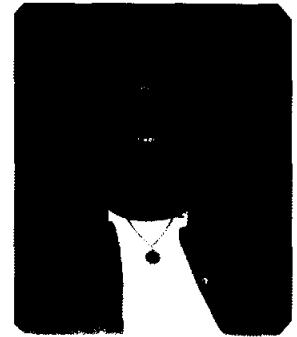
University of Northern Colorado:

Pursued Bachelor of Arts in Business.

August 1981 - June 1984

Additional Education and Training:

- Proficient in Microsoft Office and Microsoft Project
- Familiar with AutoCAD 2006



KIM A. DEWEY
CHIEF FINANCIAL OFFICER
29 Years of experience

JOB DESCRIPTION

As Chief Financial Officer, Kim oversees all financial reporting aspects of the company including accounting, systems related to cost reporting of jobs, operation, budget and cost reviews, bonding and tax management. Kim is directly involved with office management and is actively involved throughout the organization in upgrading systems to meet growth within the company.

WORK HISTORY

1991-present Construction Concepts, Inc.
1985-1991 Lanning and Company, CFO
1975-1985 Fagre Construction Co., Office Manager

REFERENCES

Bill Lanning
Lanning and Company
Owner
Boulder, CO
303-530-9944

Roland Fagre
Fagre Construction Co.
Former Owner
Loveland, CO
Available upon request

Jim Dye
Dye & Whitcomb
Owner
Fort Collins, CO
970-207-9724



DAWN KESTERKE
ACCOUNTANT/ ADMINISTRATIVE ASSISTANT
10 years of Experience

JOB DESCRIPTION

Accountant: Accounts payable, accounts receivable, payroll, payroll taxes, tax reporting, general ledger /job cost balancing, account reconciliation, and job cost analysis, AIA billings, invoice flow, & collections. Maintenance of all credit accounts with suppliers.

Administrative assistant: Data entry, Job Set up, lien release management, insurance monitoring, workman’s comp claims, OSHA reporting, subcontractor documentation , personnel paperwork, correspondence, proposal preparation, filing and all aspects of office management. Additional duties include employee relations, State forms, State required affiliation renewals and documentation, and all licensing. Her strengths include attention to detail, accuracy driven, professional & courteous corroboration with customers and affiliates. Dawn has a great feel for customer needs and responding to areas of concern as well as the ability to multi task in an ever-changing environment.

EXPERIENCE

Dawn has been with Construction Concepts, Inc. since 2000; she has been instrumental with each and every project we have been involved with. She has worked in a support and customer service role for in excess of ten years. Her professional appearance, through knowledge of everyday activities and longevity are valuable assets.

EDUCATION

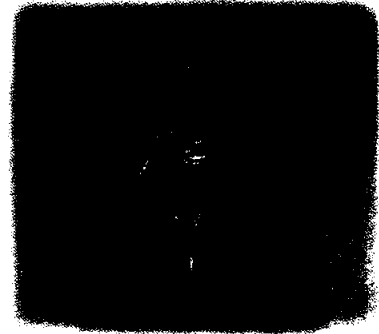
- Fall 1999 Series Six Securities and Insurance study
- Fall 1994 Real Estate Course Front Range Community College
- 1989-1990 AIB (American Institute of Banking) Courses
- 1980-1983 Graduate Mitchell High School- Mitchell, NE

WORK HISTORY

- 2000-present Construction Concepts, Inc. Longmont- Secretarial, Accounting, Office Manager
- 1995-2000 Coldwell Banker Real Estate-Loveland- Colorado Licensed Real Estate Broker Associate
- 1993-1995 Coldwell Banker Real Estate-Loveland- Support Staff, Receptionist
- 1988-1993 Affiliated First National Bank- Loveland- Teller, New Account Rep., Personal Banker

REFERENCES

Available upon request



KARI L. MANN
PROJECT ENGINEER
4 years experience

JOB DESCRIPTION

As Project Engineer with Construction Concepts, Inc. Kari's duties are Project Management support including estimating, pre-construction documentation, project scheduling, project administration, subcontractor and material procurement, contract administration, project control and documentation, value engineering, and project close out.

Strong attributes include the ability to multi-task, successfully coordinate and organize multiple projects, as well as excellent communication with co-workers, clients, and subcontractors. Commitment to excellence is exemplified in thorough client servicing resulting in the highest level of customer satisfaction.

PROJECT EXPERIENCE

- Colorado State University Diagnostics Office, Fort Collins, CO \$ 375,000.00
- Hearts and Horses Therapeutic Sensory Trail & Gardens, Loveland, CO non-profit, all volunteer work

EDUCATION

2001-2006 Bachelor of Science in Landscape Architecture with a minor in Construction Management
Colorado State University

1988-2001 Liberty Grade School and High School, Joes, CO, High School Diploma

WORK HISTORY

2006-Present Project Engineer, Construction Concepts, Inc.

2005-2006 Sales Associate, Jax Farm and Ranch

2002-2003 Designer for Hearts and Horses Therapeutic Trails and Gardens

1988-present Family Farm and Ranch

REFERENCES

Available upon request

ACORD CERTIFICATE OF LIABILITY INSURANCE

OP ID LS
CONST-1

DATE (MM/DD/YYYY)
08/08/06

| PRODUCER LBN Insurance Agency-FC 1614 Oakridge Drive, Unit A Fort Collins CO 80525 Phone: 970-229-9304 Fax: 970-229-1398 | THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. | | | | | | | | | | | | |
|---|---|-----------------------------|--------|---|--|--------------------------------------|--|------------|--|------------|--|------------|--|
| INSURED Construction Concepts Inc. Marc & Kim Dewey 14125 Mead Street Longmont CO 80504 | <table border="1"> <tr> <th>INSURERS AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> <tr> <td>INSURER A: EMC Insurance Companies</td> <td></td> </tr> <tr> <td>INSURER B: Pinnacol Assurance</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> </table> | INSURERS AFFORDING COVERAGE | NAIC # | INSURER A: EMC Insurance Companies | | INSURER B: Pinnacol Assurance | | INSURER C: | | INSURER D: | | INSURER E: | |
| INSURERS AFFORDING COVERAGE | NAIC # | | | | | | | | | | | | |
| INSURER A: EMC Insurance Companies | | | | | | | | | | | | | |
| INSURER B: Pinnacol Assurance | | | | | | | | | | | | | |
| INSURER C: | | | | | | | | | | | | | |
| INSURER D: | | | | | | | | | | | | | |
| INSURER E: | | | | | | | | | | | | | |

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

| INSR ADD'L LTR INSR | TYPE OF INSURANCE | POLICY NUMBER | POLICY EFFECTIVE DATE (MM/DD/YY) | POLICY EXPIRATION DATE (MM/DD/YY) | LIMITS |
|--|--|--------------------------------|----------------------------------|-----------------------------------|---|
| A | GENERAL LIABILITY | | | | |
| | <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY | 3X0-95-53 | 08/24/06 | 08/24/07 | EACH OCCURRENCE \$ 1000000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100000 |
| | <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR | | | | MED EXP (Any one person) \$ 5000 |
| | <input checked="" type="checkbox"/> Blanket Add'l Ins Contractual Liabi | CG7482 12-00 CG 00 01 10 01 | | | PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000 |
| GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJ. <input type="checkbox"/> LOC | | | | | |
| A | AUTOMOBILE LIABILITY | | | | |
| | <input type="checkbox"/> ANY AUTO | 3X0-95-53 | 08/24/06 | 08/24/07 | COMBINED SINGLE LIMIT (Ea accident) \$ 1000000 |
| | <input checked="" type="checkbox"/> SCHEDULED AUTOS | | | | BODILY INJURY (Per person) \$ |
| | <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS | | | | BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ |
| | GARAGE LIABILITY | | | | |
| | <input type="checkbox"/> ANY AUTO | | | | AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$ |
| A | EXCESS/UMBRELLA LIABILITY | | | | |
| | <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE | 3X0-95-53 | 08/24/06 | 08/24/07 | EACH OCCURRENCE \$ 2,000,000 AGGREGATE \$ 2,000,000 |
| | <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$10,000 | | | | \$ \$ \$ |
| B | WORKERS COMPENSATION AND EMPLOYERS' LIABILITY | | | | |
| | ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below | 4031745 | 07/01/06 | 07/01/07 | <input checked="" type="checkbox"/> WC STATUTORY LIMITS <input checked="" type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1000000 E.L. DISEASE - EA EMPLOYEE \$ 1000000 E.L. DISEASE - POLICY LIMIT \$ 1000000 |
| | OTHER | | | | |
| A | Property Section | 3X0-95-53 | 08/24/06 | 08/24/07 | Leased & 200,000 |
| A | Equipment Floate | RC ON LEASED & RENTED | | | Rented |

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS
 Lic. #C65.

| | |
|---|---|
| CERTIFICATE HOLDER CITYOFF City of Fort Collins Building & Zoning Dept. PO Box 580/281 N College Ave Ft Collins CO 80522-0580 | CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE <i>Linda Bartels & Joe</i> |
|---|---|

OFFICE OF THE SECRETARY OF STATE
OF THE STATE OF COLORADO

CERTIFICATE

I, Mike Coffman, as the Secretary of State of the State of Colorado, hereby certify that, according to the records of this office,

CONSTRUCTION CONCEPTS, INC.

is a
Corporation

formed or registered on 07/17/1991 under the law of Colorado, has complied with all applicable requirements of this office, and is in good standing with this office. This entity has been assigned entity identification number 19911055201 .

This certificate reflects facts established or disclosed by documents delivered to this office on paper through 01/05/2007 that have been posted, and by documents delivered to this office electronically through 01/10/2007 @ 09:55:03 .

I have affixed hereto the Great Seal of the State of Colorado and duly generated, executed, authenticated, issued, delivered and communicated this official certificate at Denver, Colorado on 01/10/2007 @ 09:55:03 pursuant to and in accordance with applicable law. This certificate is assigned Confirmation Number 6673245 .



Secretary of State of the State of Colorado

*****End of Certificate*****

Notice: A certificate issued electronically from the Colorado Secretary of State's Web site is fully and immediately valid and effective. However, as an option, the issuance and validity of a certificate obtained electronically may be established by visiting the Certificate Confirmation Page of the Secretary of State's Web site, <http://www.sos.state.co.us/biz/CertificateSearchCriteria.do> entering the certificate's confirmation number displayed on the certificate, and following the instructions displayed. Confirming the issuance of a certificate is merely optional and is not necessary to the valid and effective issuance of a certificate. For more information, visit our Web site, <http://www.sos.state.co.us/> click Business Center and select "Frequently Asked Questions."

CERT_GS_D Revised 01/02/2007



BONDING REFERENCES

Bonding Company: Travelers Casualty and Surety Company
Contact- Rebecca L. Braun
P.O. Box 173713
Denver, CO 80217-3713
720-200-8406

Surety's AM Best General Policy Holder Rating: A+

Surety's Best Financial Rating: XV

Treasury Limit: 85,966,000 per - project

Agent: Flood and Peterson Insurance, Inc.
4821 Wheaton Drive
Fort Collins, CO 80527
800-810-3878 Contact-Darlene Krings

FINANCIAL REFERENCES

Bank Reference: Centennial Bank of the West
3561 Stagecoach Road North
Longmont, CO 80504
Attn: Mel Green
Bank President
Del Camino Bank
(720) 494-2210 Phone



Rebecca L. Braun, CPCU, AFSB
Underwriting Manager
St. Paul Travelers Bond
6060 S. Willow Drive
Greenwood Village, CO 80111
(720) 200-8406
(720) 200-8398 (fax)

October 25, 2005

Re: Construction Concepts, Inc.

To Whom It May Concern:

We are pleased to offer our recommendation regarding the financial stability of Construction Concepts, Inc. Their surety bonds are underwritten by Travelers Casualty and Surety Company of America.

Construction Concepts enjoys an excellent reputation for providing quality work in a timely and cost effective manner. We have approved bonds in the low seven figure range, and we are in a position to consider bonds in that range, or larger, subject to review of the job specific contract and other pertinent underwriting documents.

This letter is not an assumption of liability, nor is it a bid bond or a performance bond. It is issued only as a bonding reference requested of us by our client.

Please contact me if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads 'Rebecca L. Braun'.

Rebecca L. Braun, CPCU, AFSB
Underwriting Manager

c: Construction Concepts, Inc.
Flood & Peterson Insurance, Inc.